

## GENERAL NOTES

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWINGS.

- ALL WORK OF THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE WITH DISTRICT OF COLUMBIA AMMENDMENTS AND REGULATIONS OF OTHER AGENCIES HAVING JURISDICTION ON THE WORK OF THIS CONTRACT.
- DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES IN THE DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE AOR. NO CHANGE IN DRAWINGS OR SPECIFICATIONS IS PERMISSIBLE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. NO WORK SHALL PROCEED UNTIL SUCH DISCREPANCY HAS BEEN RECTIFIED.
- ALL WORK ON THESE DRAWINGS SHALL BE CONSIDERED NEW WORK WHETHER STATED OR NOT EXCEPT WHERE SPECIFICALLY NOTED AS "EXISTING".
- COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.
- THE CONTRACTOR SHALL DISCONNECT AND/OR REMOVE ANY EXISTING PLUMBING, ELECTRICAL FIXTURES, WIRE CONDUITS, OR OTHER WORK WHICH MIGHT INTERFERE WITH THE WORK OF THIS CONTRACT. AFTER NEW WORK IS COMPLETED, THE DISCONNECTED OR REMOVED ITEMS SHALL BE REINSTALLED BY THE CONTRACTOR AT THE SAME LOCATION OR AT NEW LOCATION AS DIRECTED. FURNISH ALL NECESSARY NEW MATERIALS/HARDWARE FOR COMPLETION OF WORK.
- THE CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED OR EXPOSED SURFACES DUE TO CONTRACT WORK. ALL NEWLY INSTALLED, PATCHED WORK AND ALL AFFECTED AREAS SHALL BE PAINTED. ALL PAINTING WORK SHALL BE PERFORMED TO COVER THE ENTIRE HORIZONTAL OR VERTICAL SURFACE TO THE CLOSEST CORNER IN ALL FOUR DIRECTIONS. COLOR TO MATCH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL FURNISH AND INSTALL NEW MATERIALS AT NO ADDITIONAL COST TO THE OWNER FOR THE FOLLOWING CONDITIONS: a) ANY EXISTING WORK THAT HAS BEEN REMOVED OR DAMAGED IN ORDER TO PERFORM THE CONTRACT WORK. b) TO FURNISH THE WORK OF THIS CONTRACT IN WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- THE CONTRACTOR SHALL INCLUDE ALL PREPARATORY AND ASSOCIATED SUPPLEMENTARY WORK TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.
- WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON DRAWINGS, IT SHALL MEAN THE BASIS OF DESIGN. ALL OTHER PRODUCTS MUST BE SUBMITTED TO THE AOR.
- SIZE OF MASONRY UNITS AND WOOD MEMBERS ON PLANS, BUILDING ELEVATIONS AND SECTIONS ARE SHOWN AS NOMINAL SIZE.
- THE CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES. SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED ACCESS FROM ALL ADJACENT SPACES INTO THE EXISTING EGRESS STAIRS TO OUTSIDE OF THE BUILDING AT ALL TIMES.
- WHERE INDICATED OR REQUIRED TO PERFORM THE WORK, PACK, PROTECT AND RELOCATE FURNITURE, CABINETS, ETC. TO OWNER DESIGNATED LOCATIONS AND RETURN ITEMS UPON COMPLETION OF WORK.
- WORK NOT MATCHING THE CONTRACT DOCUMENTS IS SUBJECT TO DISAPPROVAL BY THE OWNER, AOR OR EOR AND CONTRACTOR IS FULLY RESPONSIBLE FOR CORRECTIVE WORK UNTIL WORK MATCHES THE CONTRACT DOCUMENTS.
- ALL CHANGES TO THE CONTRACT DOCUMENTS ARE TO BE APPROVED BY THE OWNER/AOR/EOR PRIOR TO CONSTRUCTION.

## BUILDING CODE NOTES

THIS PROJECT INCLUDES REPLACEMENT OF ROOFING, REPAIR OF AN EXISTING STAIR BULKHEAD, AND INSTALLATION OF A GREEN ROOF SYSTEM.

THE EXISTING STAIR ACCESS TO THE ROOF WAS CONSTRUCTED AS A NON-FILED PROJECT AND IS NOT IN COMPLIANCE WITH APPLICABLE CODES. THIS PROJECT BRINGS THE STAIR TO THE SAME LEVEL OF PROTECTION AS THE REST OF THE HOME.

THE EXISTING STAIR BETWEEN THE SECOND FLOOR AND ROOF IS EXTREMELY STEEP. THIS PROJECT WILL REPLACE THIS STAIR WITH A STAIR MATCHING THE SLOPE OF THE EXISTING STAIR BETWEEN THE FIRST AND SECOND FLOORS. REFER TO A202 FOR A STAIR SECTION.

THE EXISTING HOME IS A TRADITIONAL ROW HOUSE FROM THE 1890'S, WITH TWO STORIES AND A BASEMENT.

APPLICABLE CODES:

2012 INTERNATIONAL RESIDENTIAL CODE  
2012 INTERNATIONAL ELECTRICAL CODE  
2012 INTERNATIONAL PLUMBING CODE

THIS IS A NON-SPRINKLERED BUILDING.

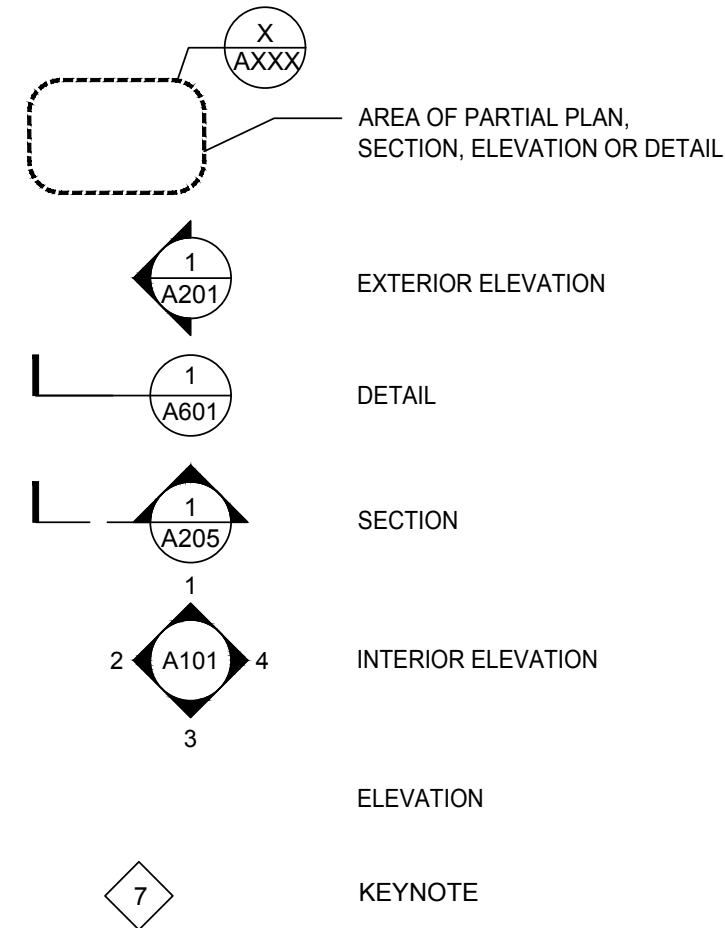
STRUCTURAL LOADS - REFER TO S101.

THE PROJECT IS LOCATED IN CLIMATE ZONE 4

THIS PROJECT OCCURS ENTIRELY WITHIN THE FOOTPRINT OF THE EXISTING BUILDING. THERE IS NO ENLARGEMENT OF THE BUILDING FOOTPRINT. THE EXISTING FOOTPRINT IS ±670 SF.

FOR EXTERIOR WALL AND ROOF ASSEMBLY AND R VALUES REFER TO A201.

## SYMBOLS



## ABBREVIATIONS

ADJ.	ADJACENT	L.S.	LIMESTONE
AOR	ARCHITECT OF RECORD	L.F.	LINEAR FOOT
ALUM.	ALUMINUM	L.P.	LOW POINT
BLDG.	BUILDING	LVL	LAMINATED VENEER LUMBER
B.U.R.	BUILT-UP ROOFING	MAT.	MATERIAL
CL	CENTER LINE	MAX.	MAXIMUM
CLG	CEILING	MECH.	MECHANICAL
CMU	CONCRETE MASONRY UNIT	MIN.	MINIMUM
COL.	COLUMN	M.O.	MASONRY OPENING
CONT.	CONTINUOUS	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
DIA.	DIAMETER	O.C.	ON CENTER
DIM.	DIMENSION	O.D.	OUTSIDE DIAMETER
DN.	DOWN	PL.	PLASTER
DWG.	DRAWING	P.L.	PROPERTY LINE
E.J.	EXPANSION JOINT	RD	ROOF DRAIN
EL.	ELEVATION	REINF.	REINFORCING
EOR	ENGINEER OF RECORD	RM	ROOM
EQ.	EQUAL	SF	SQUARE FEET
EXIST.	EXISTING	S.S.	STAINLESS STEEL
EXT.	EXTERIOR	STL.	STEEL
FIN.	FINISH	STRUC.	STRUCTURAL
FL.	FLOOR	SFT.	TYPICAL
G.A.	GAUGE	VERT.	VERTICAL
GALV.	GALVANIZED	V.I.F.	VERIFY IN FIELD
HGT.	HEIGHT	W/	WITH
H.M.	HOLLOW METAL	W.I.	WROUGHT IRON
H.P.	HIGH POINT	WL	WALNUT LUMBER
HORZ.	HORIZONTAL		
INSUL.	INSULATION		

## LIST OF DRAWINGS

T001	TITLE, NOTES, ABBREVIATIONS
T002	ZONING NOTES & MATERIAL SPECIFICATIONS
D101	DEMOLITION PLANS & SPECIFICATIONS
A001	HISTORIC VIEWSHED COMPLIANCE
A002	HISTORIC VIEWSHED COMPLIANCE
A101	SECOND FLOOR & MEZZANINE PLANS
A102	ROOF DECK PLAN & ROOF PLAN
A103	REFLECTED CEILING PLAN
A201	ELEVATIONS AND DETAILS
A202	SECTIONS
A203	DETAILS
S001	STRUCTURAL NOTES, LOADS AND SPECIAL INSPECTIONS
S101	SECOND FLOOR, STAIR LANDING & ROOF FRAMING PLANS
S102	ROOF DECK & ROOF FRAMING PLANS
S103	STRUCTURAL DETAILS

## ALTERNATES

PROVIDE AN ITEMIZED PRICE AND DEFER TO OWNER'S CHOICE ON THE FOLLOWING ITEMS:

- CONCEALED NATURAL GAS LINE EXTENSION TO ROOF FOR GRILL AND FIRE TABLE, WITH NATURAL GAS CONVERSION KIT FOR EACH, IN LIEU OF PROPANE.
- FOR SLIDING DOOR PELLA ARCHITECT SERIES 850 CONTEMPORARY IN LIEU OF WESTERN WINDOWS SERIES 7650 SLIDING GLASS DOOR WITH INSULATED GLAZING, LOW-E COATING AND A THERMALLY BROKEN FRAME. PELLA DOOR TO MATCH AS MANY PERFORMANCE SPECIFICATIONS OF WESTERN WINDOWS 7650 AS FEASIBLE. BASE CONTRACT IS WESTERN WINDOWS 7650.
- EXTERIOR GRADE WAP MOUNTED IN A CONCEALED LOCATION IN LIEU OF OWNER PROVIDED, CONTRACTOR INSTALLED WIRELESS EXTENDERS.
- PRIMED AND PAINTED STEEL IN LIEU OF GALVANIZED STEEL FOR ALL STEEL EXPOSED TO THE ELEMENTS.

## GREEN ROOF NOTES

THIS PROJECT HAS APPLIED FOR INCLUSION IN THE RIVER SMART ROOFTOPS PROGRAM.

## HISTORIC NOTES

THIS PROJECT IS IN THE CAPITOL HILL HISTORIC DISTRICT. REFER TO A001 & A002 FOR NOTES APPLICABLE TO THE HISTORIC REGULATIONS.

*Archifina*

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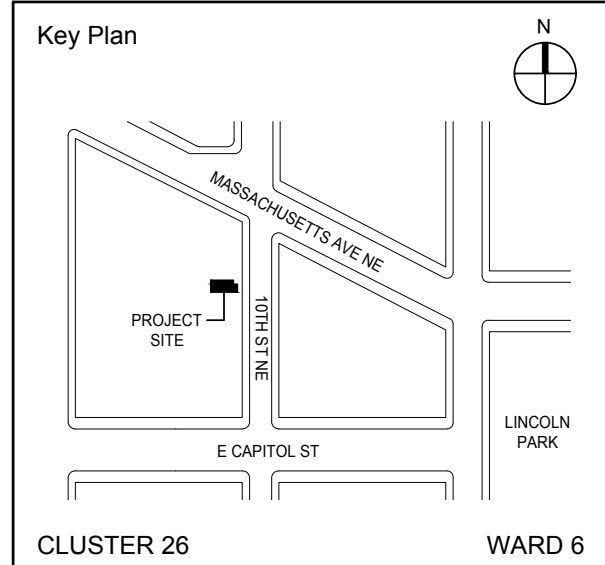


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(240) 760-1037

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#	DATE	REV
No.	Date	Revision



CLUSTER 26 WARD 6

EOR: JAMES GEORGE KONNICK PE  
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No. <b>2018-001</b>	Date: <b>09/17/2018</b>
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Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**TITLE, NOTES ABBREVIATIONS AND SPECIFICATIONS**

Drawing No.:  
**T101.00**

Board of Zoning Adjustment  
District of Columbia  
CAUSE NO. 18085  
EXHIBIT NO. 7  
Sheets in Contract Set: **01 of 17**  
Sheets in DOB Set: **01 of 17**

# ZONING NOTES

**ZONE**  
PROJECT IS IN ZONE RF-1.

**BUILDING HEIGHT**  
THE EXISTING BUILDING IS 32'-7" ABOVE GRADE MEASURED FROM THE MIDPOINT OF THE FRONT FACADE, IN COMPLIANCE WITH 303.1.

**LOT OCCUPANCY**  
LOT AREA = 880 SF  
BUILDING FOOTPRINT = 668 SF  
LOT OCCUPANCY = 76%

**FLOOR AREA RATIO**  
GROSS FLOOR AREA = 2004 SF (INCLUDING BASEMENT)  
FAR = 2.3

**YARDS**  
FRONT AND REAR YARDS ARE NOT MODIFIED BY THIS PROJECT. THERE ARE NO SIDE YARDS APPLICABLE TO ROW HOUSES ON AN INTERIOR LOT.

**ORIGINAL ROOFTOP ELEMENTS**  
THE ONLY ORIGINAL ROOFTOP ELEMENT IS AN EXISTING CHIMNEY AND IT IS NOT ALTERED BY THIS PROJECT. THIS PROJECT IS IN COMPLIANCE WITH 206.1.

**PENTHOUSE**  
THIS PROJECT INCLUDES STAIR ACCESS TO THE ROOF. THE STAIR ENCLOSURE FALLS UNDER THE CRITERIA OF PENTHOUSE PER CHAPTER 15, 1500.3 AND IS PROVIDED SOLELY FOR ROOF ACCESS, NOT HABITABLE SPACE.

**PENTHOUSE APPLICABILITY**  
ON ROWHOUSES, A PENTHOUSE IS ALLOWABLE AS A SPECIAL EXCEPTION PER 1500.4 THAT CONTAINS ONLY STAIR ACCESS TO THE ROOF AND IS NO MORE THAN 10'-0" HIGH. THIS PENTHOUSE CONSISTS ONLY OF A STAIR AND HAS NO STORAGE AND NO OCCUPIED SPACE.

**PENTHOUSE HEIGHT**  
THE STAIR ENCLOSURE IS IN COMPLIANCE WITH 1500.4 IN THAT IT RISES 9' 10 1/2" ABOVE THE EXISTING ROOF HIGH POINT (10'-0" ALLOWED) AND IS ONE STORY.

THE STAIR ENCLOSURE IS IN COMPLIANCE WITH SPECIAL EXCEPTION UNDER SUBTITLE X, CHAPTER 9 AND PENTHOUSE MAXIMUM HEIGHT OF 12'-0" PER 303.7.

**PENTHOUSE WALLS**  
UNIFORM HEIGHT WALLS ARE REQUIRED PER 1500.9. THIS IS NOT FEASIBLE DUE TO HISTORIC VIEW REGULATIONS. THE STAIR ENCLOSURE HAS BEEN DESIGNED WITH A SLOPING ROOF TO BE OUT OF THE HISTORIC VIEW SHED.

**PENTHOUSE SETBACKS**  
THE FRONT PENTHOUSE SETBACK IS 16'-6" FROM THE FRONT BUILDING WALL, IN COMPLIANCE WITH 1502.1a AS THIS IS GREATER THAN ITS HEIGHT OF 9'-10 1/2".

THE REAR PENTHOUSE SETBACK IS 6'-3". PER 1502.b THIS IS TO BE EQUAL TO THE PENTHOUSE HEIGHT. DUE TO THE HISTORIC VIEW REQUIREMENTS, COMPLIANCE WITH THIS SETBACK IS INFEASIBLE. THE SETBACK HAS BEEN MAXIMIZED TO THE GREATEST DEGREE POSSIBLE WHILE PROVIDING COMPLIANCE WITH HISTORIC REGULATIONS. THE SIZE OF THE PENTHOUSE HAS BEEN MADE AS SMALL AS POSSIBLE WHILE PROVIDING SAFE ROOF ACCESS.

PENTHOUSE SIDE SETBACK PER 1502.c IS NOT FEASIBLE FOR AN 18'-0" WIDE LOT. PLEASE NOTE THAT THE INTENT OF THE PENTHOUSE DESIGN IS TO PROVIDE SAFE ROOF ACCESS TO CORRECT THE NON-COMPLIANT CONSTRUCTION.

- REFER TO 1504 RELIEF TO PENTHOUSE REQUIREMENTS:
- STRICT APPLICATION OF PENTHOUSE SIDE SETBACK WOULD BE UNDULY RESTRICTIVE.
  - THE RELIEF REQUESTED RESULTS IN A BETTER DESIGN OF THE ROOF STRUCTURE WITHOUT APPEARING TO BE AN EXTENSION OF THE BUILDING WALL. THE STAIR ENCLOSURE IS NOT VISIBLE FROM THE STREET, IS CONSTRUCTED OF WOOD, AND IS STRUCTURALLY SEPARATE FROM THE MASONRY BEARING WALLS, THEREFORE IT IS NOT AN EXTENSION OF THE BUILDING WALL.
  - THE STAIR ENCLOSURE IS NOT VISUALLY INTRUSIVE AS IT IS NOT VISIBLE FROM THE STREET.
  - CONSTRUCTION CODE REASONABLE EFFICIENCIES IN LOWER FLOORS: THE STAIR HAS BEEN DESIGNED AS A CONTINUATION OF THE EXISTING STAIR. CREATING A SECOND STAIR IN A ROW HOUSE IS PRACTICALLY INFEASIBLE DUE TO THE NARROW WIDTH OF THE LOT.
  - EVERY EFFORT HAS BEEN MADE TO BE IN COMPLIANCE WITH THE REQUIRED SETBACKS.
  - THERE IS NO EFFECT TO THE LIGHT AND AIR OF ADJACENT STRUCTURES.

**PENTHOUSE AREA**  
THE EXISTING PENTHOUSE IS 31 SF AND WILL BE REPLACED WITH A NEW PENTHOUSE THAT IS 85 SF. THIS IS 13% OF THE TOTAL ROOF AREA, IN COMPLIANCE WITH 1503.2.

THE NEW PENTHOUSE IS 85 SF AND IS 20% OF THE USABLE ROOFTOP SPACE, IN COMPLIANCE WITH 1500.3b.

TOTAL ROOF AREA: 668 SF  
USABLE ROOF AREA 434 SF (GREEN ROOF + WOOD DECK)  
PENTHOUSE AREA: 85 SF

PROPERTY IDENTIFICATION:  
CLUSTER 26  
WARD 6  
SMD 6A03  
CENSUS TRACT 008100  
SSL 0941 0821  
ANC 6A03

## MATERIAL SPECIFICATIONS

THE FOLLOWING MATERIALS ARE THE BASIS OF DESIGN. ALL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER AND THE AOR PRIOR TO INSTALLATION.

### DIV 02

**GREEN ROOF**  
BASIS OF DESIGN WHITE EPDM 45 MIL MINIMUM & EXTENSIVE 4" LAY-IN GREEN ROOF SYSTEM. GREEN ROOF SATURATED WEIGHT IS NOT TO EXCEED 30 PSI. EPDM ROOF MEMBRANE IS TO BE COMPATIBLE WITH GREEN ROOF SYSTEM AND IS TO BE SUITABLE FOR EXPOSURE TO THE ELEMENTS WITHOUT BALLAST.

**DIV 04**  
GUARDRAIL: ATLANTIS SUN RAILLITITUDE  
(NOTE NO SUBSTITUTIONS FOR THIS PRODUCT)

ALL EXERIOR STEEL IN PROJECT IS TO BE GALVANIZED UNLESS PRIMED AND PAINTED IS APPROVED BY THE OWNER.

### DIV 05

ALL WOOD IN PROJECT IS TO BE FSC CERTIFIED. ALL COMPOSITE WOOD PRODUCTS ARE TO CONTAIN NO UREA FORMALDEHYDE.

**DECKING**  
1X6 IPE, ADVANTAGE LUMBER OR SIMILAR. PROVIDE A 2 YEAR SUPPLY OF A A LOW-VOC SEALER RECOMMENDED BY IPE MANUFACTURER TO THE OWNER.

**SIDING**  
1X6 IPE SHIPLAP SIDING WITH RAINSCREEN SYSTEM - BASIS OF DESIGN "VANISH RAINSCREEN" BY IRONWOODS.  
PROVIDE SAMPLE TO FOR OWNER'S APPROVAL

**ROUGH CARPENTRY & SOLID STRUCTURAL LUMBER**  
SEE PLANS

**FINISH CARPENTRY**  
SOLID RED OAK 2 1/2" WIDE WOOD FLOORING, FSC CERTIFIED, RIFT & QUARTER SAWN, SELECT OR BETTER, ALLEGHANY HARDWOOD OR SIMILAR, FINISHED IN FIELD TO MATCH EXISTING WOOD FLOOR. PROVIDE FINISH SAMPLE FOR OWNER'S APPROVAL.

### DIV 07

**INSULATION**  
INTERIOR - MINERAL WOOL SOUND ATTENUATION INSULATION  
EXTERIOR - ECOTOUCH PINK FIBERGLASS R-14 PLUS  
EXTRUDED POLYSTYRENE R5 PER INCH

**ROOF ASSEMBLY**  
CONTRACTOR IS RESPONSIBLE FOR COMPATIBILITY OF SELECTED FLASHING, ROOFING, AND WATERPROOF AIR BARRIER TO FORM A COMPLETE WATERTIGHT BUILDING ENVELOPE. PROVIDE A COPY OF PRODUCT DATA TO OWNER. PROVIDE A 20 YEAR WARRANTY FOR ROOFING AND GREEN ROOF. ROOFING MANUFACTURER TO VISIT SITE AND PROVIDE A LETTER CERTIFYING QUALITY CRAFTSMANSHIP AND COMPATIBILITY OF MATERIALS.

EPDM ROOFING - NOTED UNDER GREEN ROOF ABOVE.

ROOF FLASHING - PROVIDE EPDM COMPATIBLE WITH MEMBRANE.

SEALANT

### DIV 08

**SLIDING DOOR**  
WESTERN WINDOWS SERIES 7650 SLIDING GLASS DOOR WITH INSULATED GLAZING, LOW-E COATING AND A THERMALLY BROKEN

FRAME.

**WINDOWS & SKYLIGHTS**  
PELLA, ANDERSON, MARVIN, WESTERN WINDOWS, THERMALLY BROKEN FRAME WITH INSULATED GLASS UNIT, CLEAR GLASS AND LOW-E COATING WITH 0.40 SHGC OR BETTER FOR WINDOWS AND A SKYLIGHT U-FACTOR OF 0.55 OR BETTER. SUBMIT COLOR SAMPLES TO OWNER & AOR. PROVIDE SINGLE SOURCE MANUFACTURER FOR ALL DIV 8 MATERIALS. SUBMISSION OF PRODUCT DATA AND OWNER OR AOR APPROVAL IS REQUIRED FOR ALL DIV 8 MATERIALS PRIOR TO INSTALLATION. WINDOW U-FACTOR 0.32 OR BETTER PER IRC 402.1.2. OPERABLE WINDOWS TO HAVE LOCKING HARDWARE AND BE FITTED WITH SCREENS TYP.

**DIV 09**  
**INTERIOR PAINT**  
BENJAMIN MOORE AURA OR EQUAL LOW-VOC BRAND, COLOR TO MATCH EXISTING WALLS OR OWNER'S CHOICE.

**PLUMBING:**  
PROVIDE NATURAL GAS CONVERSION KIT FOR FIRE TABLE AND GRILL AND INSTALL NATURAL GAS SERVICE TO THE ROOF TO SERVE BOTH. DESIGN ROUTING OF PIPE TO MINIMIZE IMPACT TO EXISTING CONSTRUCTION. PROVIDE PATCHING OF AREAS OPENED UP FOR GAS PIPE AND FINISH TO MATCH ADJACENT CONSTRUCTION. ADVISE OWNER ON PREFERRED GAS ROUTE AND IMPACT TO EXISTING CONSTRUCTION PRIOR TO SELECTIVE DEMOLITION. MINIMIZE IMPACT TO KITCHEN.

**ELECTRICAL:**

**LIGHTING**  
CONTRACTOR TO PROVIDE ALL WIRING, ACCESSORIES AND SERVICE TO ENSURE A COMPLETE AND FUNCTIONAL ELECTRICAL INSTALLATION. ALL ELECTRICAL WORK TO BE BY A LICENSED ELECTRICIAN. SWITCHES ARE OWNER'S CHOICE.

PROVIDE GFCI AND EXTERIOR GRADE RECEPTACLES WITH ENCLOSED COVER PLATE FOR ELECTRICAL SERVICE ON ROOF.

DOWNLIGHTS:

LED:

SCONCE MAY BE OWNER PROVIDED, CONTRACTOR INSTALLED

**FURNITURE**  
OWNER PROVIDED, CONTRACTOR INSTALLED.

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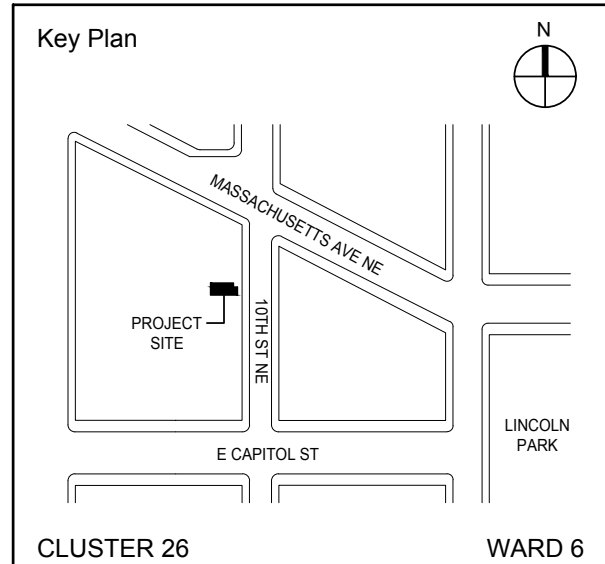


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AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No. <b>2018-001</b>	Date: <b>09/17/2018</b>
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**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**ZONING NOTES & MATERIAL SPECIFICATIONS**

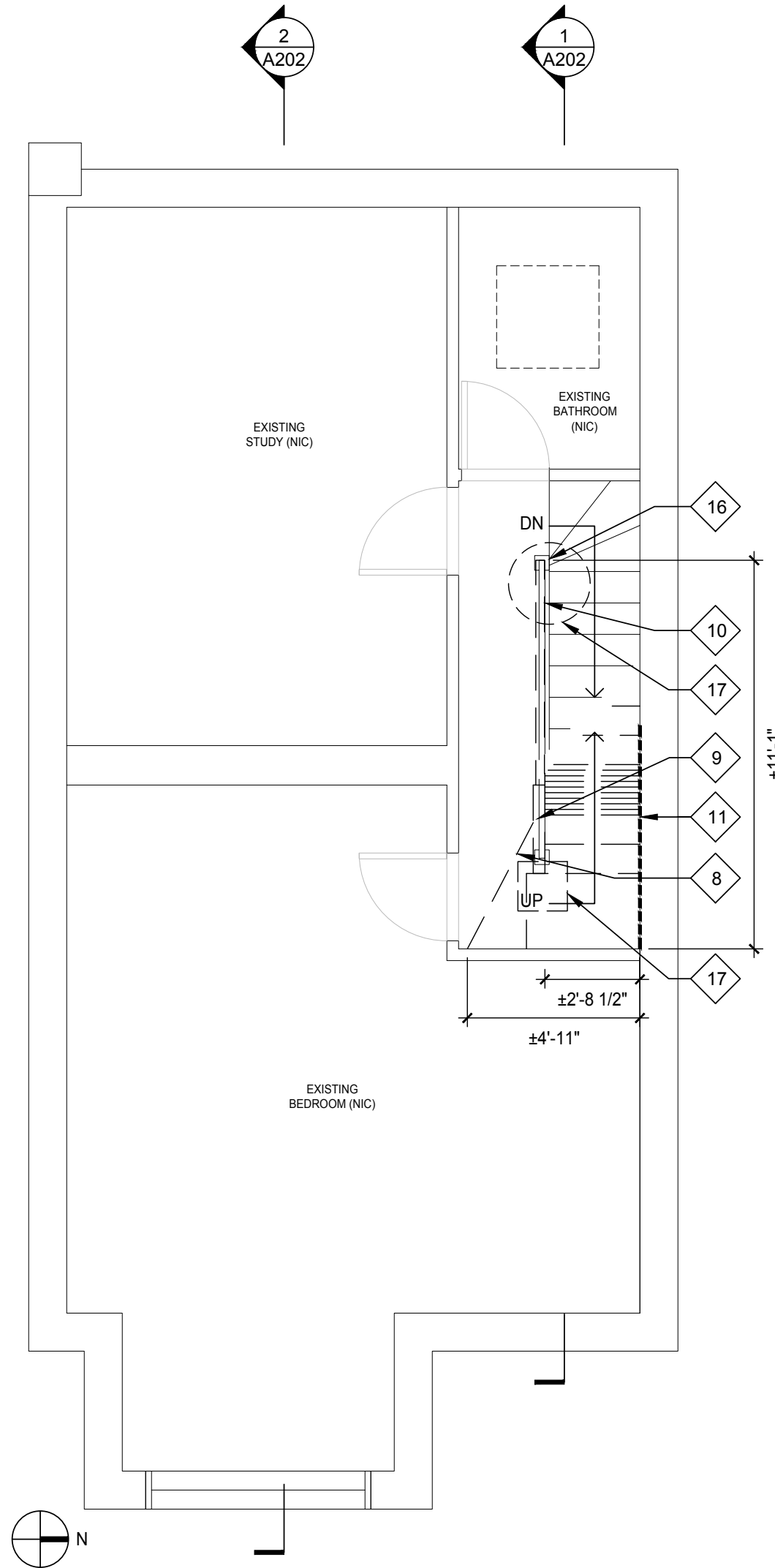
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**T102.00**

Sheets in Contract Set: <b>02 of 17</b>	Sheets in DOB Set: <b>02 of 17</b>
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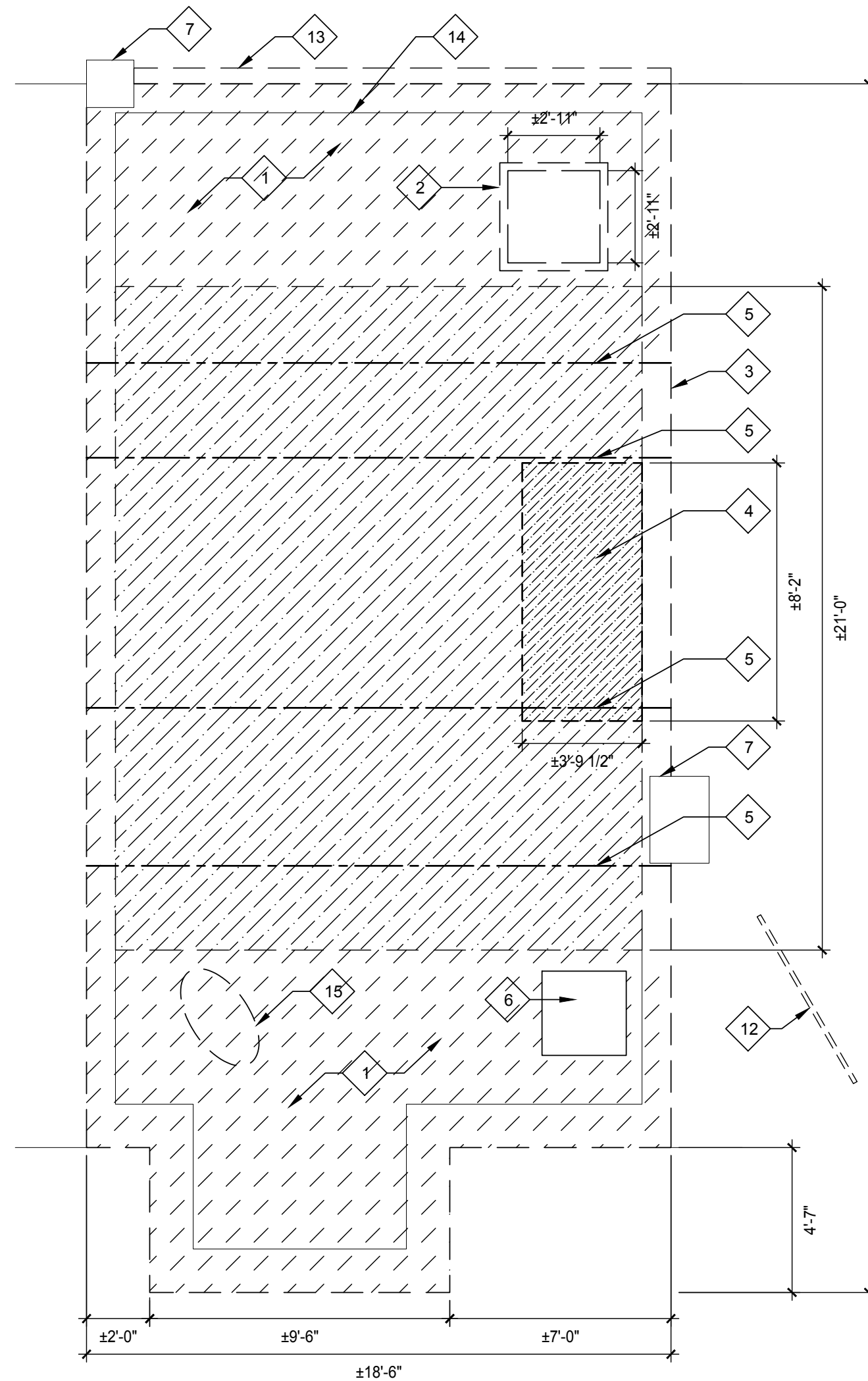


# DEMOLITION NOTES

- THIS PROJECT CONTAINS AN ACTIVE LEAK AROUND THE STAIR BULKHEAD WHICH MAY HAVE CAUSED DETERIORATION OF ARCHITECTURAL OR STRUCTURAL ELEMENTS NOT NOTED ON PLAN. IN THE CASE THAT ADDITIONAL DETERIORATED ELEMENTS ARE ENCOUNTERED, NOTIFY THE AOR FOR REMEDY. REPAIR OR REPLACEMENT OF ALL ELEMENTS DAMAGED BY LEAK IS INCLUDED IN THE SCOPE OF WORK.
- PROVIDE TEMPORARY PROTECTION OF THE STAIR BULKHEAD, ROOF OPENINGS, AND ANY UNCOVERED ROOF AREAS THROUGHOUT THE DURATION OF CONSTRUCTION.
- ROOF MOUNTED EQUIPMENT, CONDUIT, PIPE PENETRATIONS AND OTHER ROOF TOP ELEMENTS TO BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION.
- DRAWINGS ARE BASED ON ARCHITECTURAL OBSERVATION OF EXISTING CONDITIONS. CONTRACTOR TO TAKE FIELD MEASUREMENTS AND VERIFY DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
- MATERIAL OF DEMOLITION SHALL BE DISPOSED OFF SITE. SALVAGE OR RECYCLE EXISTING MATERIALS WHEN REASONABLY POSSIBLE TO REDUCE CONSTRUCTION WASTE IN GOOD FAITH.
- SELECTIVE DEMOLITION IS TO BE DONE IN A WORKMANLIKE MANNER AND BE LIMITED TO THE AREAS INDICATED ON DRAWINGS. CREATE A CLEAR BOUNDARY BETWEEN REQUIRED SELECTIVE DEMOLITION AND ARCHITECTURAL ELEMENTS TO REMAIN AND BE PROTECTED. DAMAGE TO ANY PART OF THE BUILDING DUE TO SELECTIVE DEMOLITION IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR TO MATCH THE ORIGINAL CONDITION.
- ALL SELECTIVE DEMOLITION AND REMOVALS IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE ENVIRONMENTAL AND SAFETY REGULATIONS ACCORDING TO FEDERAL, STATE AND LOCAL LAWS. COMPLIANCE IS THE CONTRACTOR'S RESPONSIBILITY.
- PROVIDE DUST CONTROL MEASURES SO THAT CONSTRUCTION DUST DOES NOT ENTER THE LIVING AREA OR MECHANICAL SYSTEM.
- AFTER DEMOLITION OF MATERIALS, THE RESULTING EXPOSED SURFACE SHALL MATCH AND BE SMOOTH, LEVEL AND FLUSH WITH EXISTING CONDITIONS.



**2** SECOND FLOOR DEMOLITION PLAN  
1/4" = 1'-0"



**1** ROOF DEMOLITION PLAN  
1/4" = 1'-0"

## KEY NOTES

- REMOVE EXISTING STANDING SEAM METAL ROOF AND ACCESSORIES DOWN TO SHEATHING. EVALUATE SHEATHING FOR WATER DAMAGE AND ADVISE OWNER/AOR ON SHEATHING TO BE REPLACED DUE TO DETERIORATION. NOTE STANDING SEAM ROOF CONTINUES UNDER DECK
- REMOVE EXISTING SKYLIGHT
- REMOVE EXISTING WOOD DECK AND HANDRAILS
- REMOVE EXISTING STAIR BULKHEAD ENCLOSURE DOWN TO STRUCTURE
- REMOVE(4) EXISTING STEEL BEAMS AND MASONRY PEDESTALS
- EXISTING AC UNIT TO BE RELOCATED AND PROTECTED DURING CONSTRUCTION
- EXISTING CHIMNEY TO REMAIN AND BE PROTECTED
- REMOVE EXISTING WOOD STAIR BETWEEN SECOND FLOOR AND ROOF
- REMOVE EXISTING WAINSCOT PARTITION AND EMBEDDED STAIR STRINGER. NOTIFY AOR IF STRUCTURE OR PIPING IS FOUND INSIDE PARTITION
- REMOVE EXISTING WOOD HANDRAIL AND BALUSTERS. SALVAGE AND PROTECT FOR MATCHING REPLACEMENT HANDRAIL AND BALUSTERS. EXISTING BALUSTERS MAY BE REINSTALLED WITH NEW HANDRAIL.
- REMOVE ±25 SF GYPSUM BOARD WALL OR PLASTER WALL, ASSESS INTERIOR OF PARTITION FOR LEAK DAMAGE, REPAIR DEGRADED STUDS, CLEAN INTERIOR OF PARTITION AND REPLACE PARTITION TO MATCH EXISTING
- REMOVE EXISTING ANTENNAE FROM ROOF OF ADJACENT HOUSE
- EXISTING GUTTER TO BE SALVAGED AND REINSTALLED
- EXISTING LOW PARAPET WALL TO REMAIN
- REMOVE EXISTING SATTELITE
- REMOVE EXISTING NEWEL POST TO REMAIN AND BE PROTECTED. NOTE THIS NEWEL POST IS TO BE MATCHED EXACTLY IN SHAPE AND FINISH FOR THE NEW CONSTRUCTION NEWEL POSTS
- REMOVE EXISTING LIGHT FIXTURE

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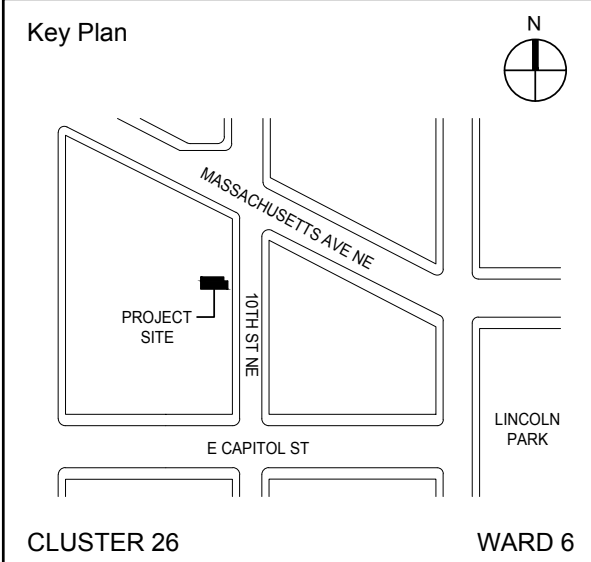


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Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**DEMOLITION PLANS**

Drawing No.:  
**D101.00**

Sheets in Contract Set: 03 of 17  
Sheets in DOB Set: 03 of 17

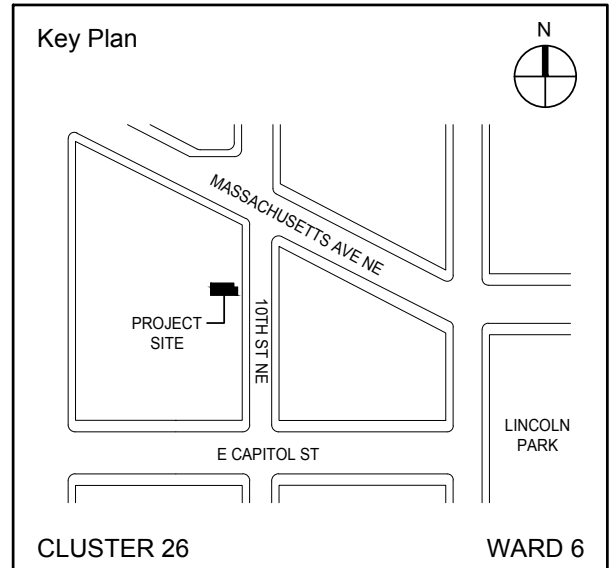




**NOTE:** Drawing may be printed at reduced scale

**DRAFT - NOT FOR CONSTRUCTION**

#	DATE	REV
No.	Date	Revision



**PHOTO A** NO ROOFTOP ELEMENTS ARE VISIBLE.

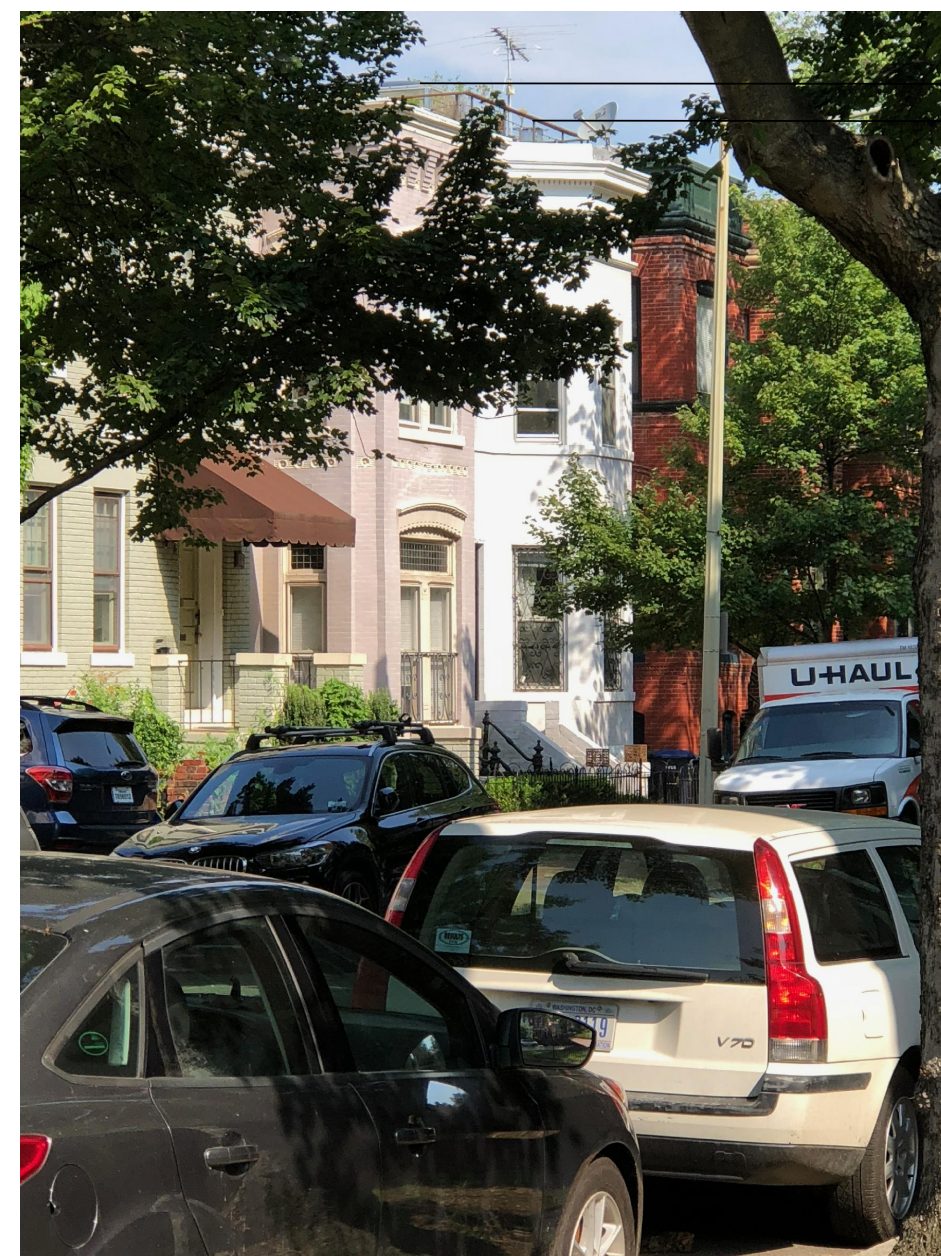


**PHOTO B** 1. SATELLITE IS VISIBLE AND WILL BE PERMANENTLY REMOVED AS PART OF THIS PROJECT.



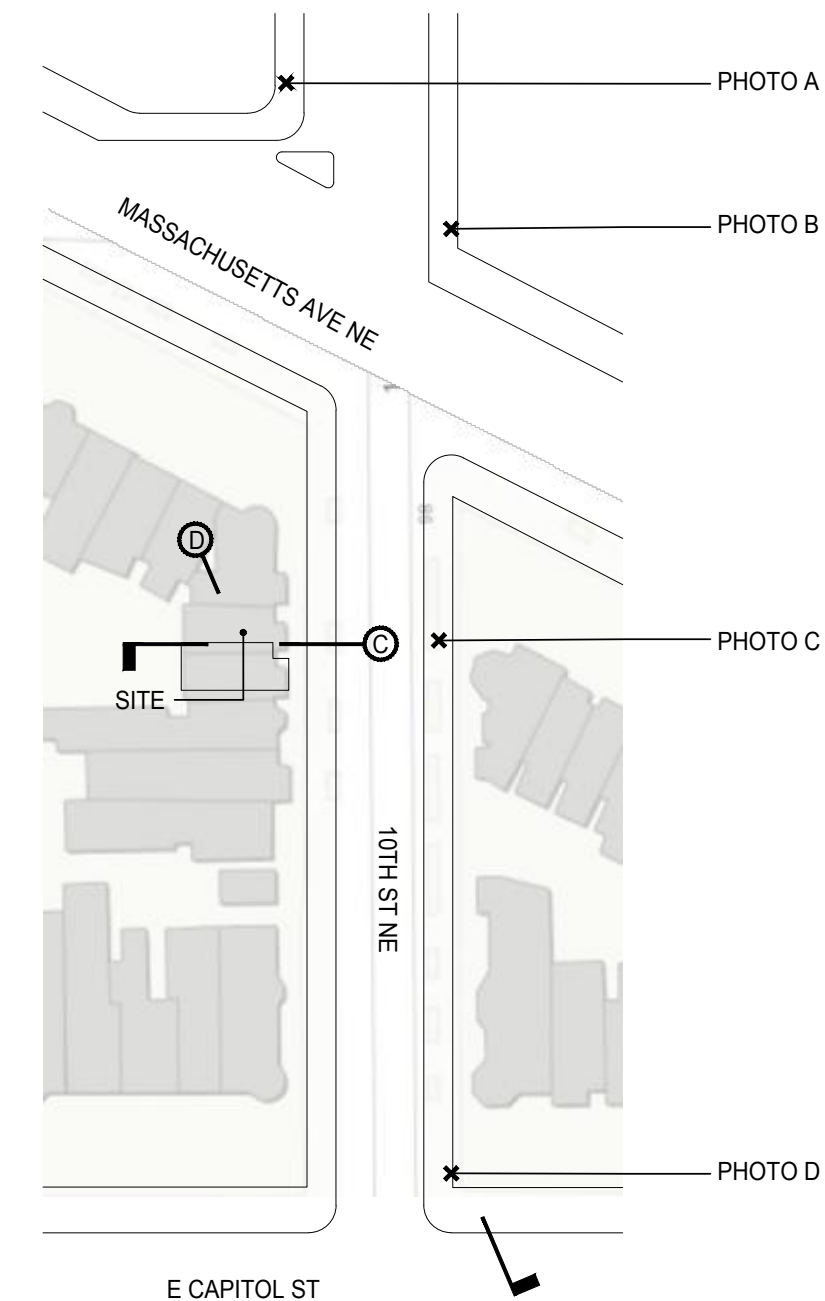
**PHOTO C**

1. SATELLITE IS VISIBLE AND WILL BE PERMANENTLY REMOVED AS PART OF THIS PROJECT.
2. AIR CONDITIONER IS VISIBLE AND WILL BE RELOCATED 2'-10" TO THE REAR.
2. EXISTING GUARDRAIL IS VISIBLE. THE LINE OF THE NEW GUARDRAIL IS 5'-7" FT BEHIND THE EXISTING GUARDRAIL. SEE PLAN ON A002.



**PHOTO D**

1. EXISTING STAIR BULKHEAD IS VISIBLE. THE NEW STAIR BULKHEAD WILL HAVE A SLOPING TOP REMOVING IT FROM THE VIEWSHED.
2. EXISTING GUARDRAIL IS VISIBLE. THE LINE OF THE NEW GUARDRAIL IS 5'-7" FT BEHIND THE EXISTING GUARDRAIL. SEE PLAN ON A002.
3. EXISTING SATELLITE IS ALSO VISIBLE AND WILL BE PERMANENTLY REMOVED.



**KEY MAP**  
1" = 72'-0"

EOR: JAMES GEORGE KONNICK PE  
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No. 2018-001	Date: 09/17/2018
-------------------------	---------------------

Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**HISTORIC VIEWSHED COMPLIANCE**

Drawing No.:  
**A001.00**

Sheets in Contract Set: 04 of 17	Sheets in DOB Set: 04 of 17
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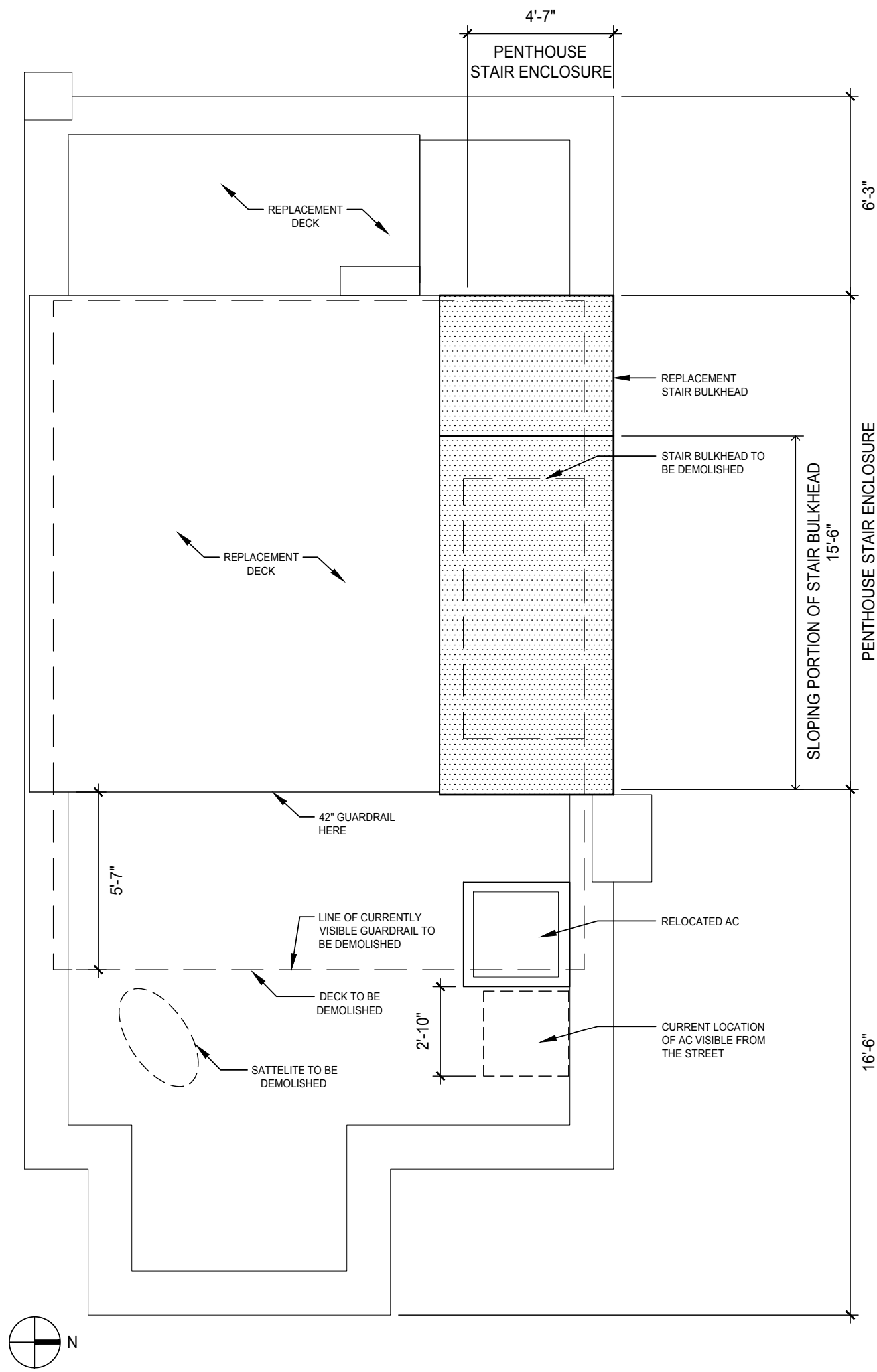
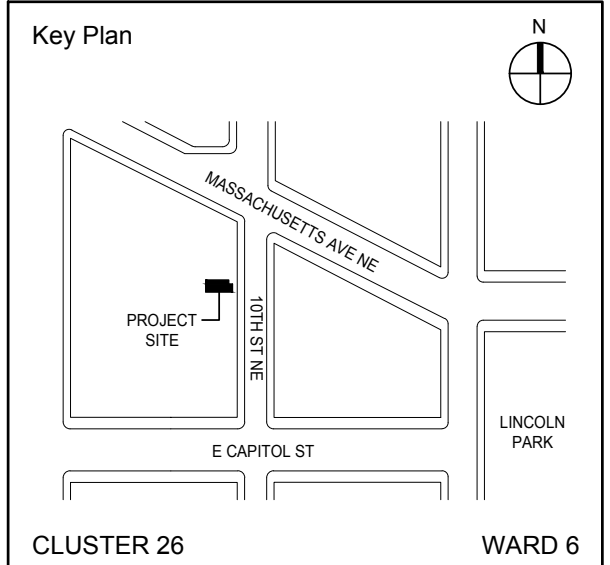




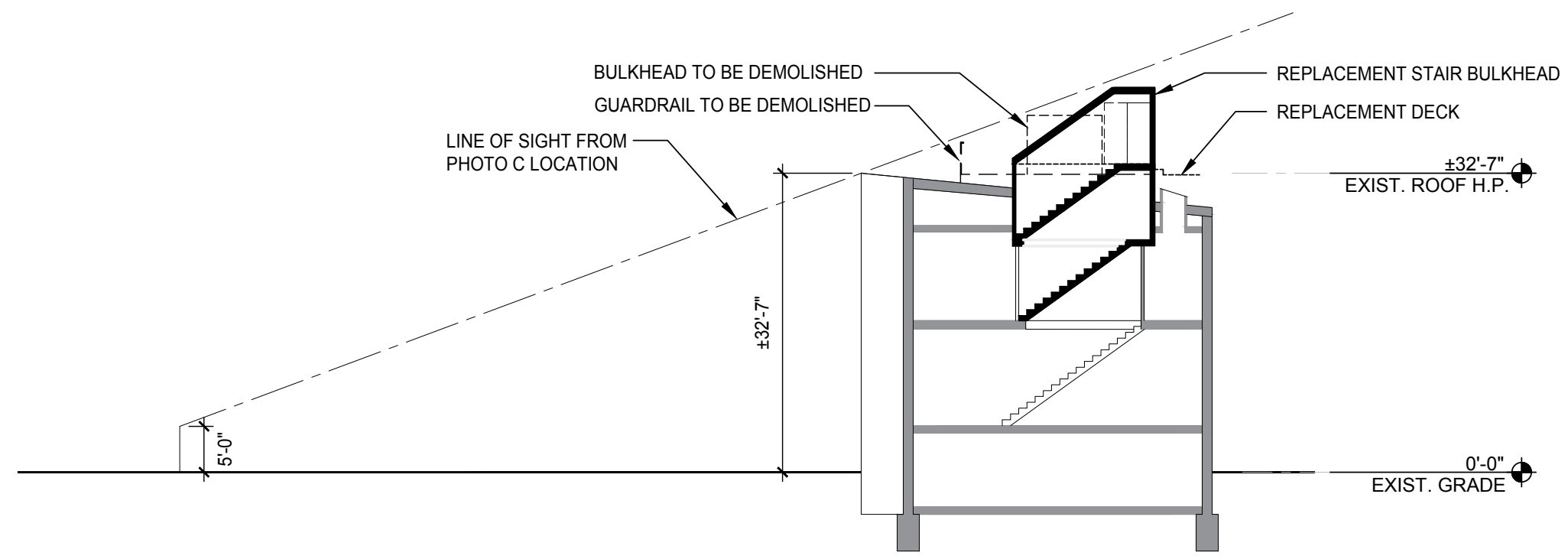
**NOTE: Drawing may be printed at reduced scale**

**DRAFT - NOT FOR CONSTRUCTION**

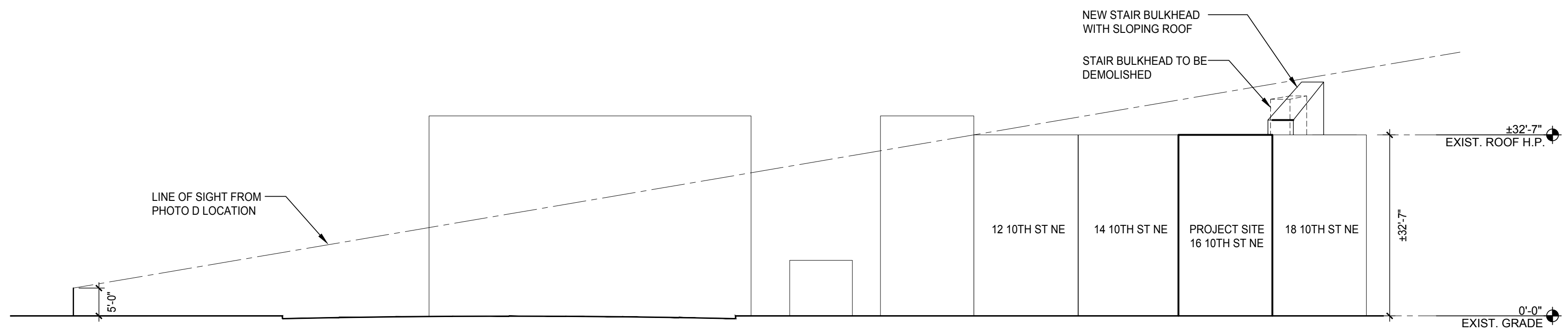
#	DATE	REV
No.	Date	Revision



**3 ROOF PLAN**  
1/8" = 1'-0"



**2 SECTION C**  
1/16" = 1'-0"



**1 SECTION D**  
1/16" = 1'-0"

EOR: JAMES GEORGE KONNICK PE  
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No. 2018-001	Date: 09/17/2018
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Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**





Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**HISTORIC VIEWSHED COMPLIANCE**

Drawing No.:  
**A002.00**

Sheets in Contract Set: 05 of 17	Sheets in DOB Set: 05 of 17
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# LEGEND

-  EPDM ROOFING
-  EXTENSIVE GREEN ROOF SYSTEM 4" DEEP OVER EPDM ROOFING ASSEMBLY EXISTING JOISTS & SHEATHING TO REMAIN
-  DUPLEX OUTLET
-  DIMMER SWITCH

# PLAN NOTES

1. PREPARE MASONRY TO RECEIVE ADDITIONAL STRUCTURE BY REMOVING A PORTION OF THE WALL AND INFILLING THE OPENING AFTER STRUCTURE INSTALLATION. SALVAGE BRICKS FOR REUSE. ENSURE THAT ALL STRUCTURE HAS A MINIMUM 8" BEARING ON EACH SIDE.
2. ENSURE LEVEL AND PLUMB INSTALLATION OF STRUCTURE USING A BED OF GROUT.
3. DRAWINGS ARE BASED ON ARCHITECTURAL OBSERVATION OF EXISTING CONDITIONS. CONTRACTOR TO TAKE FIELD MEASUREMENTS AND VERIFY DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
4. PIPING, ELECTRICAL CONDUIT AND UTILITIES TO BE CONCEALED WITHIN WALLS OR ATTIC SPACE. IN THE EVENT OF POSSIBLE EXPOSED PIPING CONSULT AOR & OWNER FOR DIRECTION.
5. PROVIDE CONCEALED FASTENERS FOR ALL FINISH MATERIALS.

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



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Bethesda, MD 20814  
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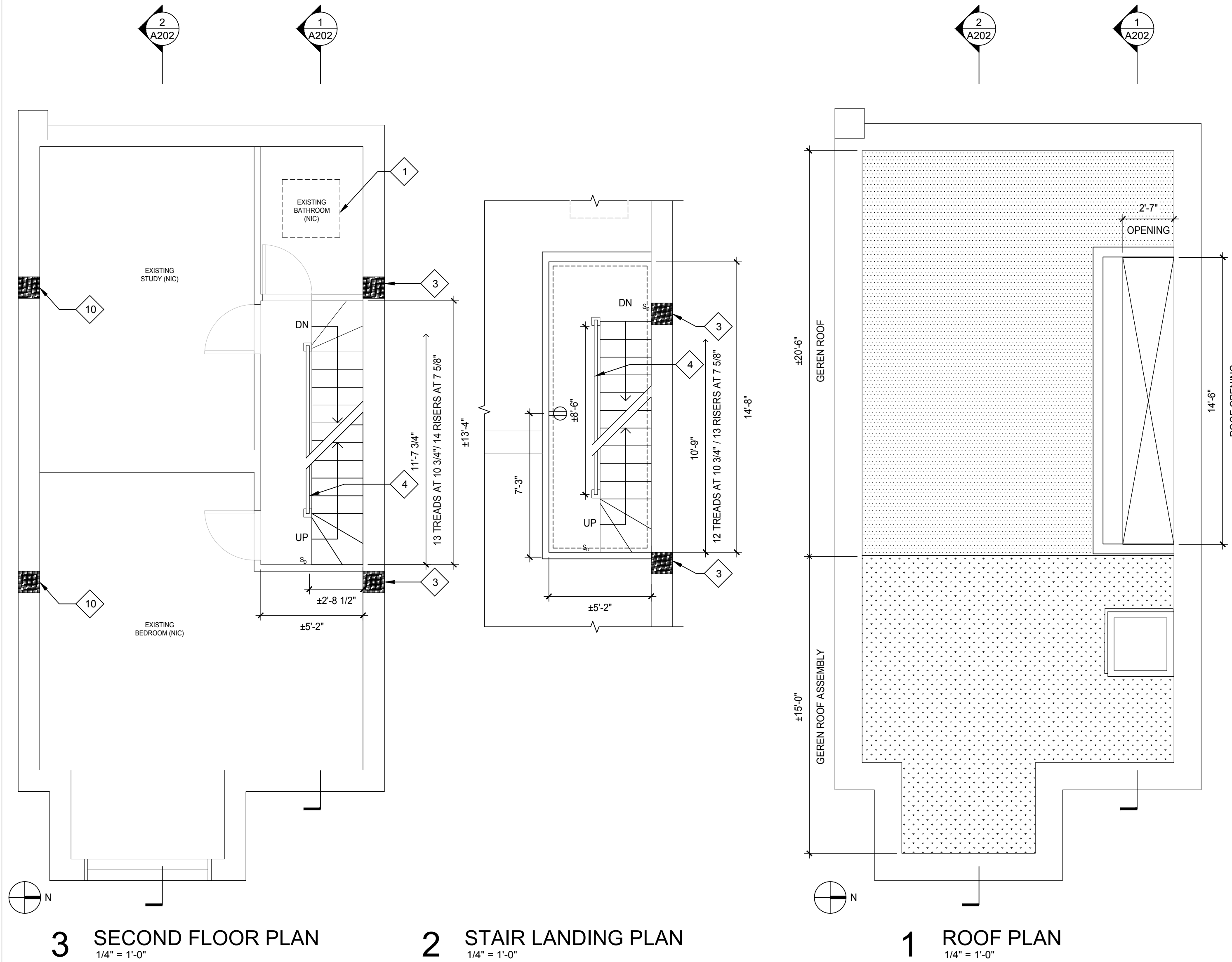
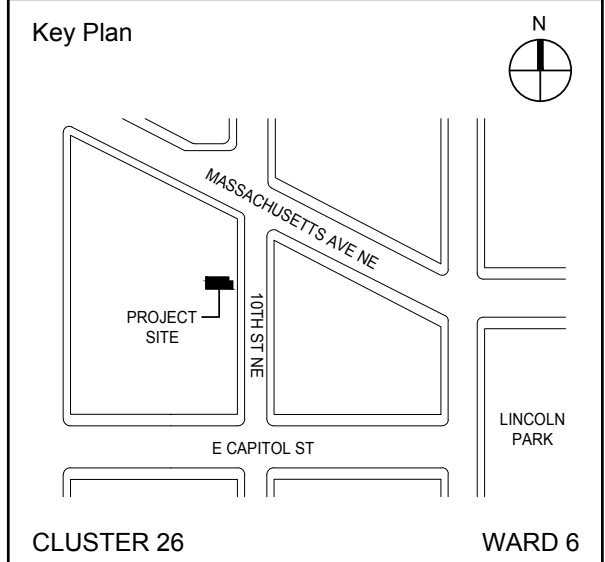
**NOTE: Drawing may be printed at reduced scale**

**DRAFT - NOT FOR CONSTRUCTION**

# KEY NOTES

-  SKYLIGHT OPENING ABOVE
-  PROVIDE WATERPROOFING AT BEAM POCKET IN EXISTING MASONRY TYP. REFER TO 2/A204
-  HANDRAIL TO MATCH EXISTING

#	DATE	REV
No.	Date	Revision



EOR: JAMES GEORGE KONNICK PE  
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No. 2018-001	Date: 09/17/2018
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Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

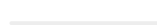


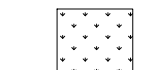
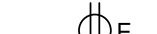

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**SECOND FL, STAIR LANDING & ROOF PLANS**

Drawing No.:  
**A101.00**

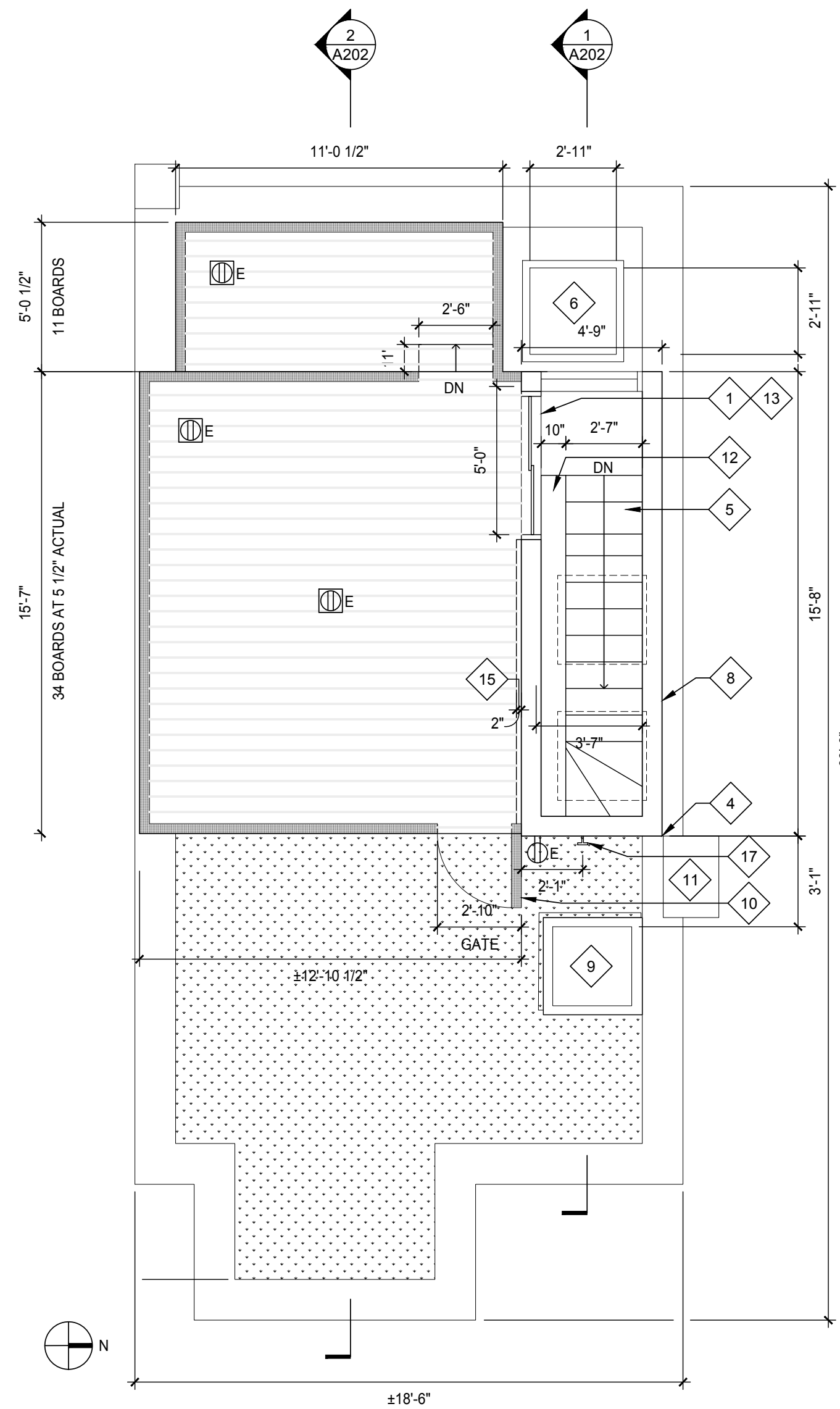
Sheets in Contract Set: 06 of 17	Sheets in DOB Set: 06 of 17
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**LEGEND**

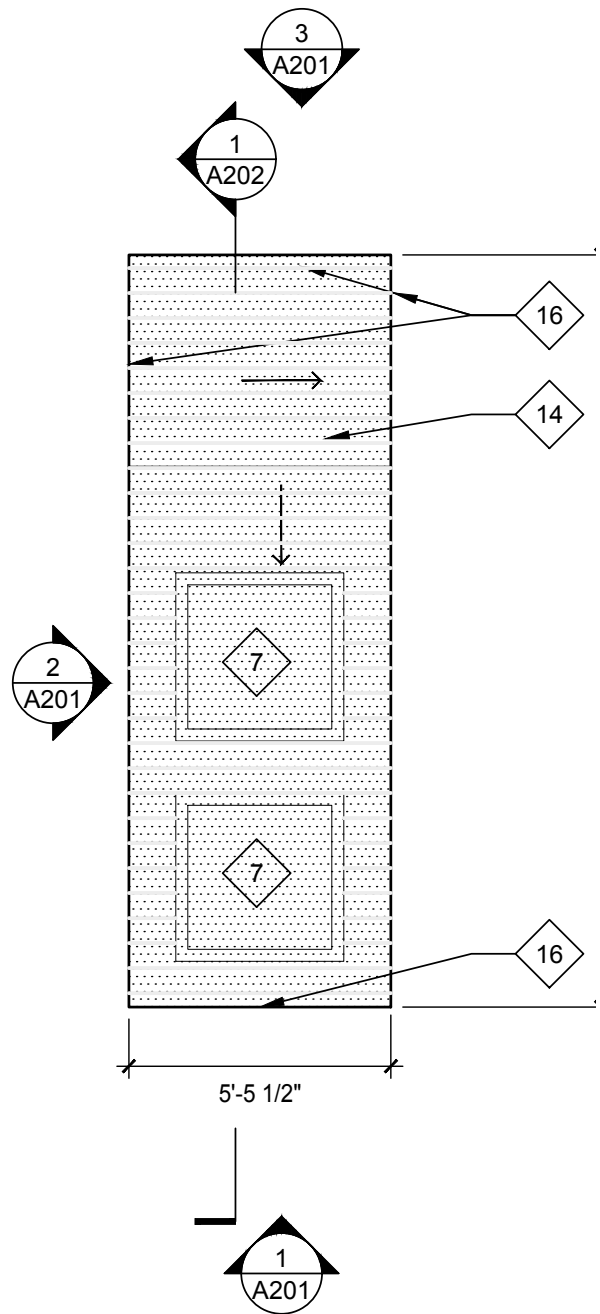
-  1X6 IPE DECKING FSC CERTIFIED ADVANTAGE LUMBER OR SIMILAR
-  ALL FASTENERS EXTERIOR GRADE. SELECTED PER MANUFACTURER'S RECOMMENDATION AND CONCEALED
-  42" HIGH ATLANTIS LATITUDE SUN RAIL WITH FASCIA MOUNT BASE AND SOLID IPE 2"4" TOP RAIL ENCLOSING DECK ALL SIDES. NOTE TOP RAIL NOT SUPPLIED BY ATLANTIS. TOP RAIL TO MATCH IPE DECKING.
-  EXTENSIVE GREEN ROOF SYSTEM 4" DEEP OVER EPDM ROOFING ASSEMBLY EXISTING JOISTS & SHEATHING TO REMAIN
-  DUPLEX OUTLET EXTERIOR GRADE
-  FLOOR OUTLET EXTERIOR GRADE

**PLAN NOTES**

1. DRAWINGS ARE BASED ON ARCHITECTURAL OBSERVATION OF EXISTING CONDITIONS. CONTRACTOR TO TAKE FIELD MEASUREMENTS AND VERIFY DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.




















**2 ROOF DECK PLAN**  
1/4" = 1'-0"



**1 UPPER ROOF PLAN**  
1/4" = 1'-0"

**KEY NOTES**

-  THRESHOLD FROM SLIDING DOOR MANUFACTURER
-  EXTEND EXISTING PLUMBING VENT STACK TO \_\_\_\_\_
-  RELOCATE EXISTING AC UNIT AS INDICATED AND ENSURE THAT UNIT IS NOT VISIBLE FROM 10TH ST ALTERNATE SIDE
-  PROVIDE 1/2" AIR GAP AT EXISTING BRICK CHIMNEY
-  HARDWOOD RED OAK FLOORING ON STAIR AND LANDING
-  REPLACEMENT SKYLIGHT TO MATCH EXISTING IN SIZE AND PROVIDE UPGRADED ENERGY EFFICIENCY PER T002. EXTEND ROOF FLASHING TO THE FULL HEIGHT OF THE CURB
-  3'-0" X 3'-0" SKYLIGHT
-  STAIR ENCLOSURE STUD WALL W/ IPE RAINSCREEN REFER TO DTL ON A201
-  RELOCATED EXISTING AC UNIT
-  GATE IN GAURDRAIL SYSTEM. CONSTRUCT TO MATCH GAURDRAIL SO GATE IS DISGUISED AND VISUALLY APPEARS AS A PART OF THE RAILING SYSTEM
-  EXISTING CHIMNEY TO REMAIN AND BE PROTECTED
-  OWNER PROCURED MARBLE SILL
-  SLIDING DOOR 5'-0" X 6'-8"  
1/6 IPE SHIPLAP SIDING RAINSCREEN SLOPE 1/2" PER FOOT OVER 5/8" PLYWOOD SHEATHING WITH CONTINUOUS WATERPROOF AIR BARRIER. PROVIDE R49 MIN INSULATION FOR ROOF OF ENCLOSURE
-  2" REVEAL BETWEEN DECK AND STAIR ENCLOSURE
-  2X4 ALL STUDS DOUBLE (2) 2X4 @ 16" O.C. WITH HORIZONTAL BRACING 48" O.C. AND DOUBLE HEADERS AROUND ALL OPENINGS
-  RELOCATE EXISTING HOSE BIB
-  RELOCATE EXISTING HOSE BIB



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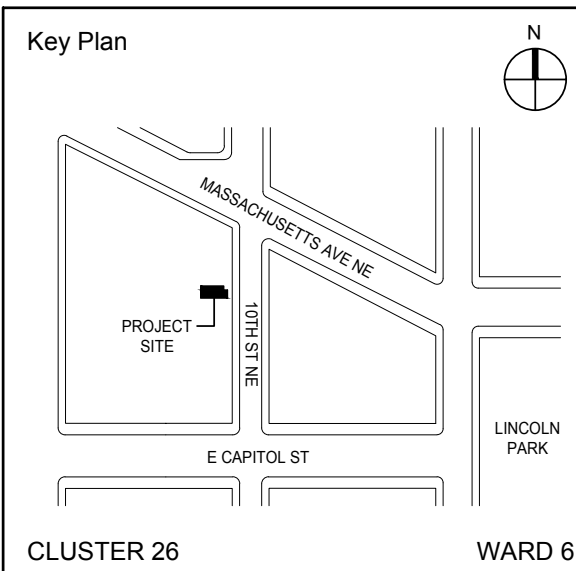


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**NOTE: Drawing may be printed at reduced scale**

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#	DATE	REV
No.	Date	Revision



EOR: JAMES GEORGE KONNICK PE	
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C	
Project No.	Date:
2018-001	09/17/2018

Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**ROOF DECK PLAN & ROOF PLAN**

Drawing No.:  
**A102.00**

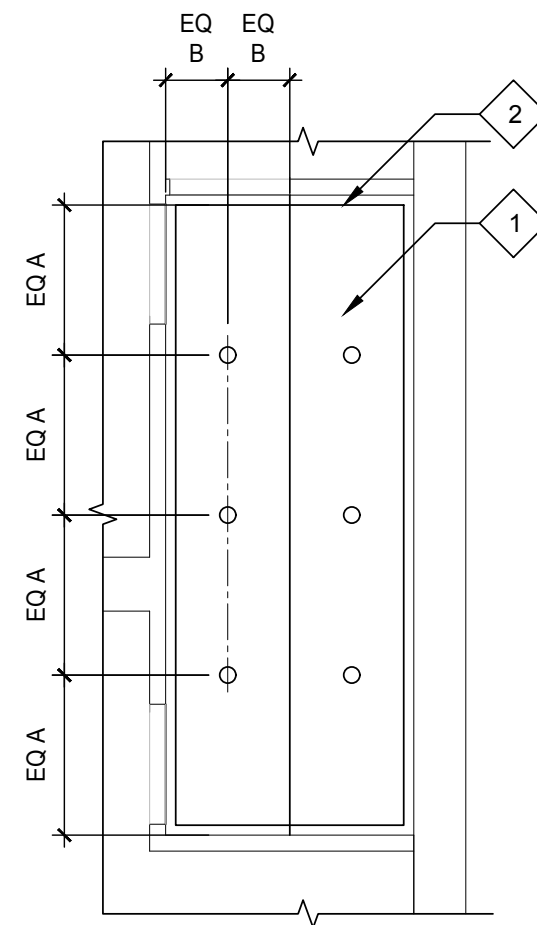
Sheets in Contract Set: 07 of 17	Sheets in DOB Set: 07 of 17
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# LEGEND

○ RECESSED ADJUSTABLE WALL WASH LED DOWNLIGHT

# PLAN NOTES

1. DRAWINGS ARE BASED ON ARCHITECTURAL OBSERVATION OF EXISTING CONDITIONS. CONTRACTOR TO TAKE FIELD MEASUREMENTS AND VERIFY DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.



# KEY NOTES

- 1 PTD GYPSUM BOARD BENJAMIN MOORE OC-17 DOVE WHITE TYP ALL CEILINGS
- 2 PROVIDE CROWN MOLDING TO MATCH FIRST FLOOR ON SECOND FLOOR AND MEZZANINE IN PROFILE, FINISH AND COLOR

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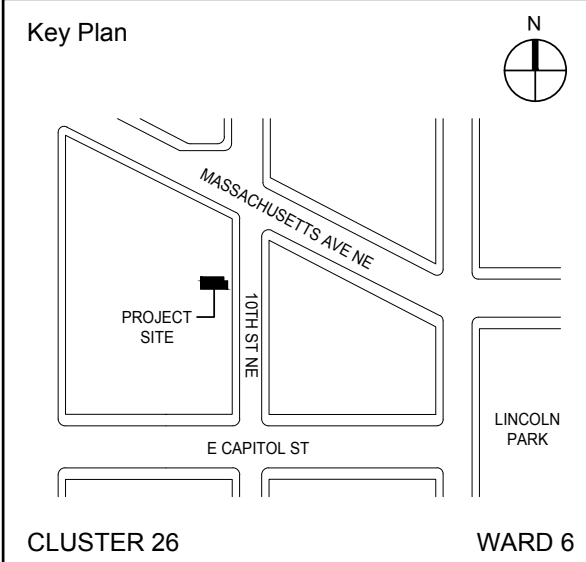


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**NOTE: Drawing may be printed at reduced scale**

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#	DATE	REV
No.	Date	Revision



EOR: JAMES GEORGE KONNICK PE  
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No. 2018-001	Date: 09/17/2018
-------------------------	---------------------

Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**REFLECTED CEILING PLAN**

Drawing No.:  
**A103.00**

Sheets in Contract Set: 08 of 17	Sheets in DOB Set: 08 of 17
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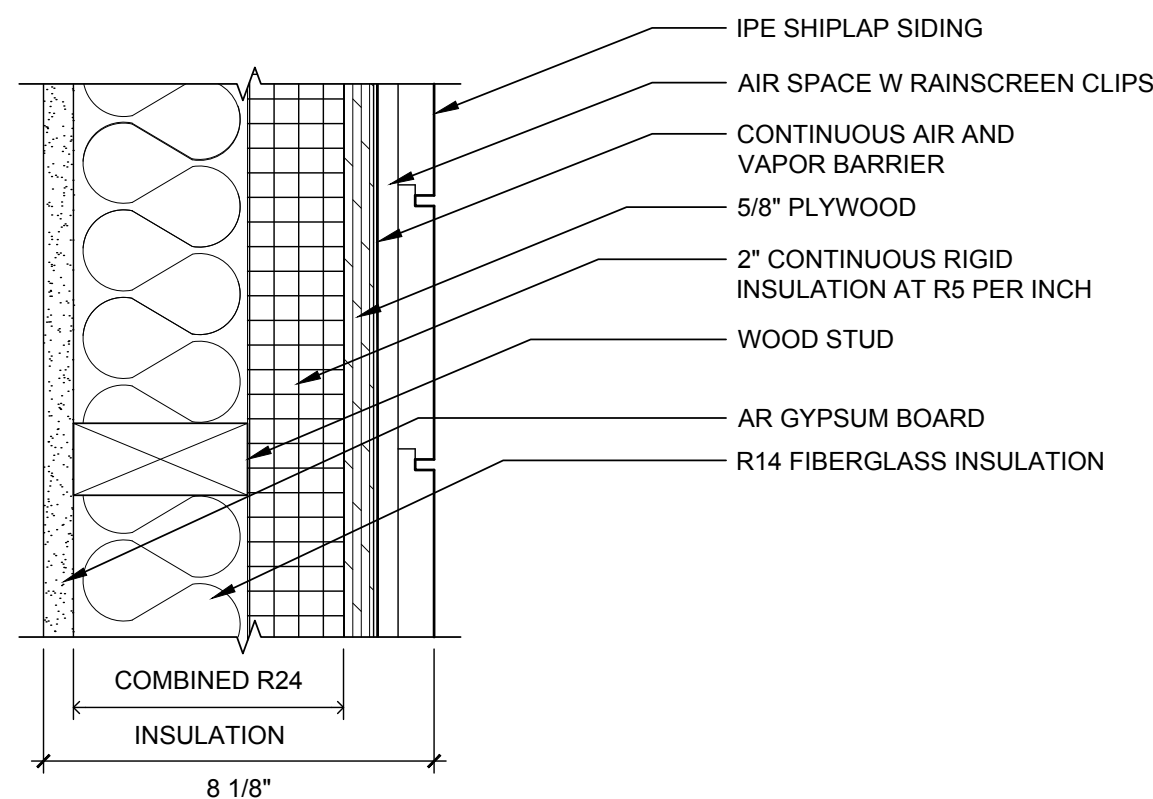
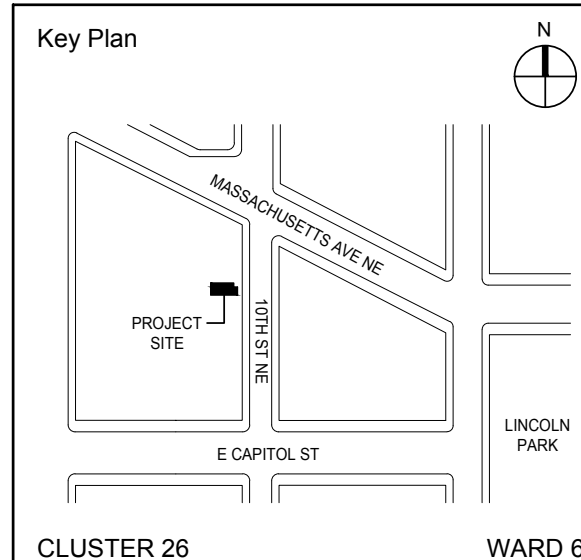




**NOTE:** Drawing may be printed at reduced scale

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#	DATE	REV
No.	Date	Revision

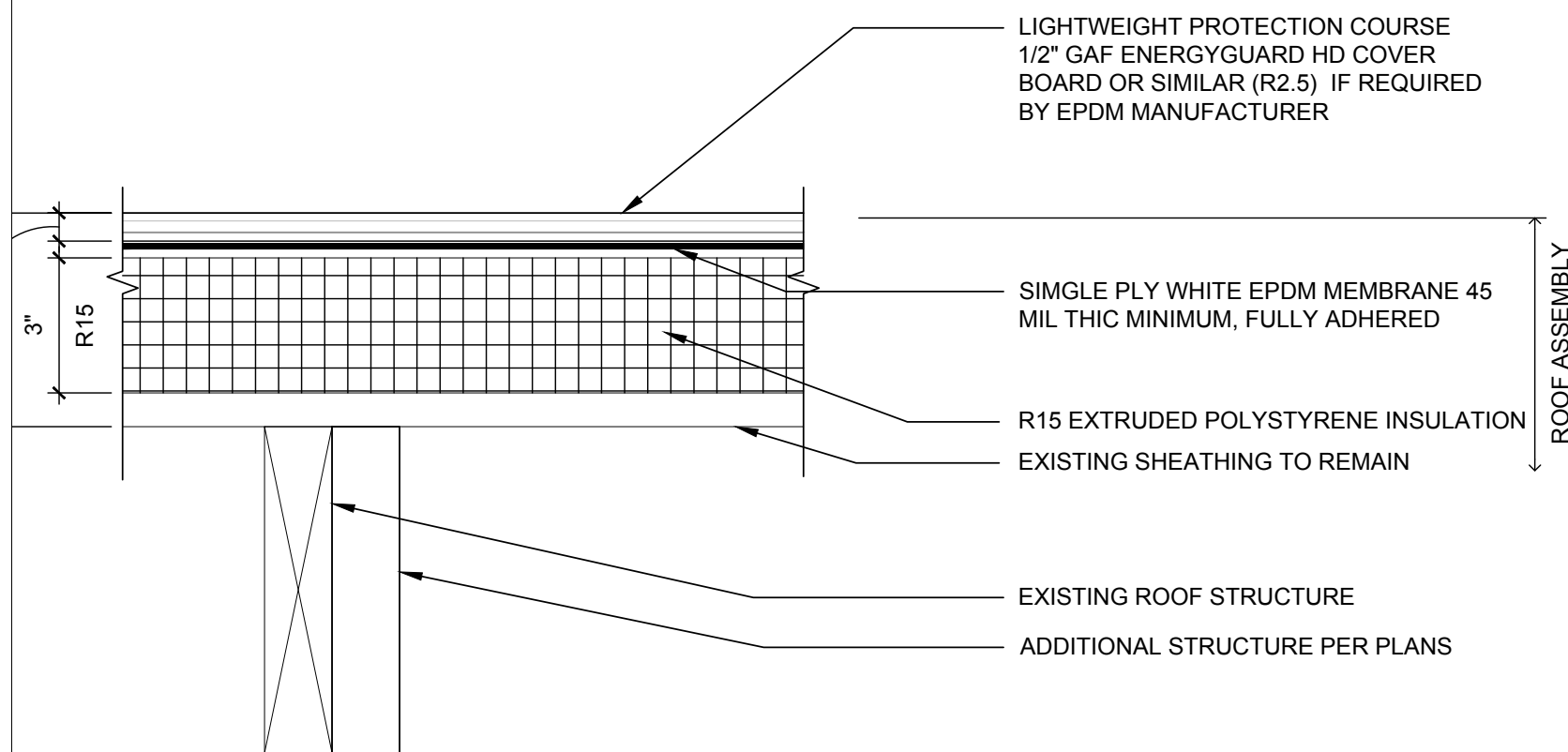


**7 EXTERIOR WALL SECTION**  
3" = 1'-0"

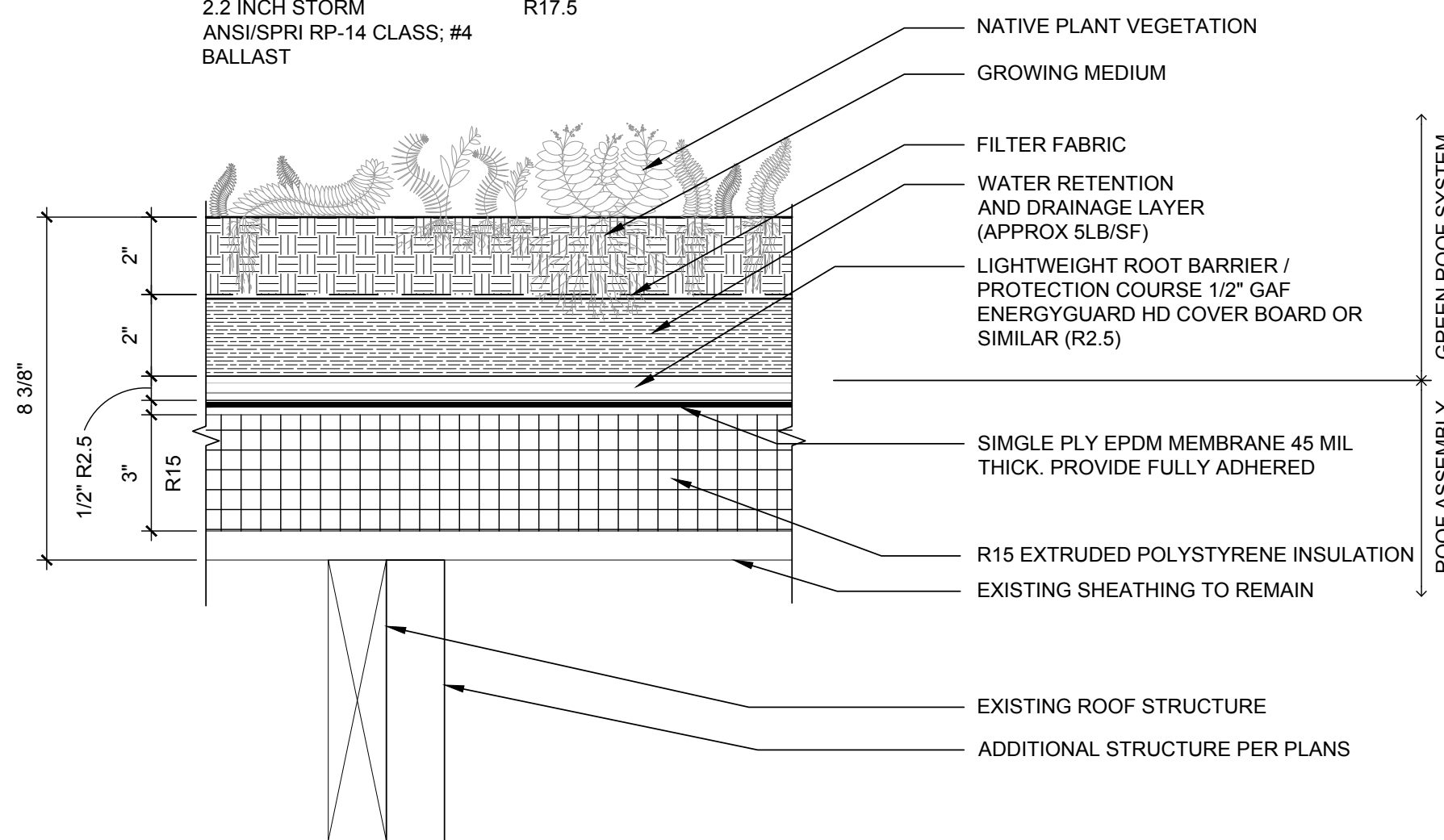
THERMAL PERFORMANCE:  
CONTINUOUS INSULATION  
R17.5

STORMWATER RETENTION:  
1.0 GALS/SF  
2.2 INCH STORM  
ANSI/SPRI RP-14 CLASS; #4  
BALLAST

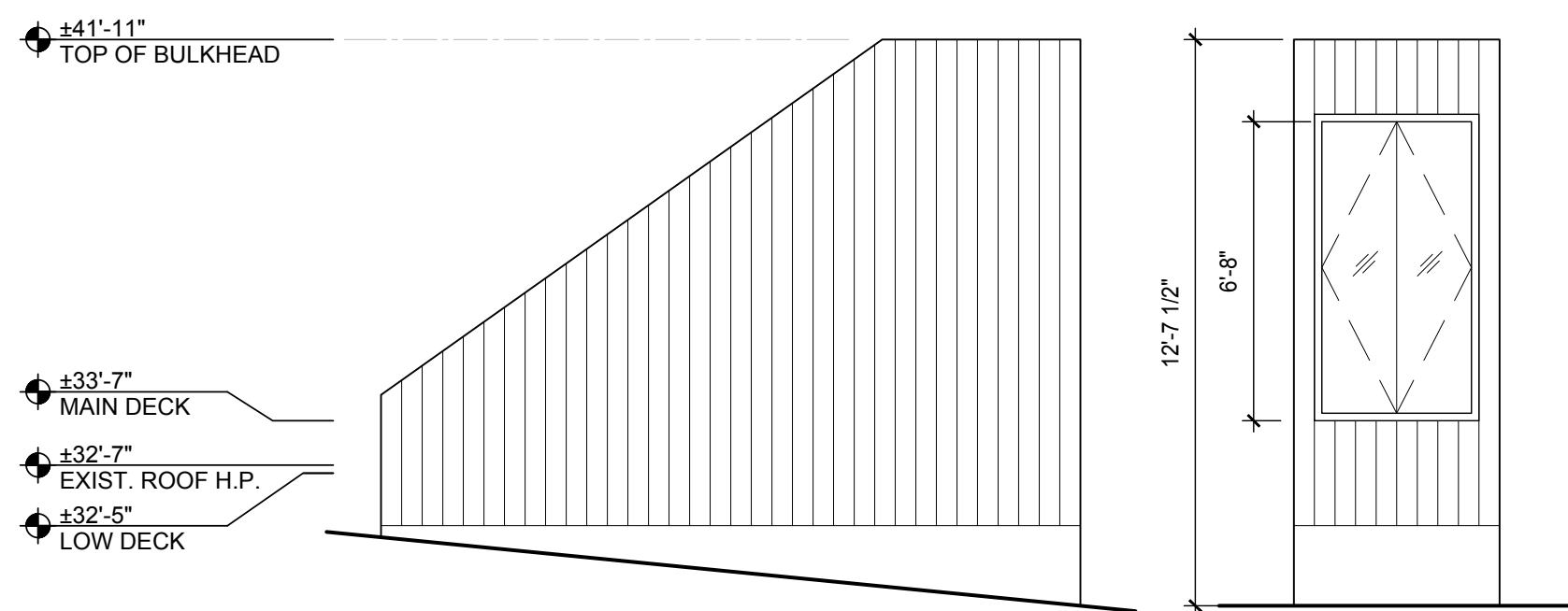
THERMAL PERFORMANCE:  
CONTINUOUS INSULATION  
R17.5



**6 MEMBRANE ROOF ASSEMBLY**  
3" = 1'-0"

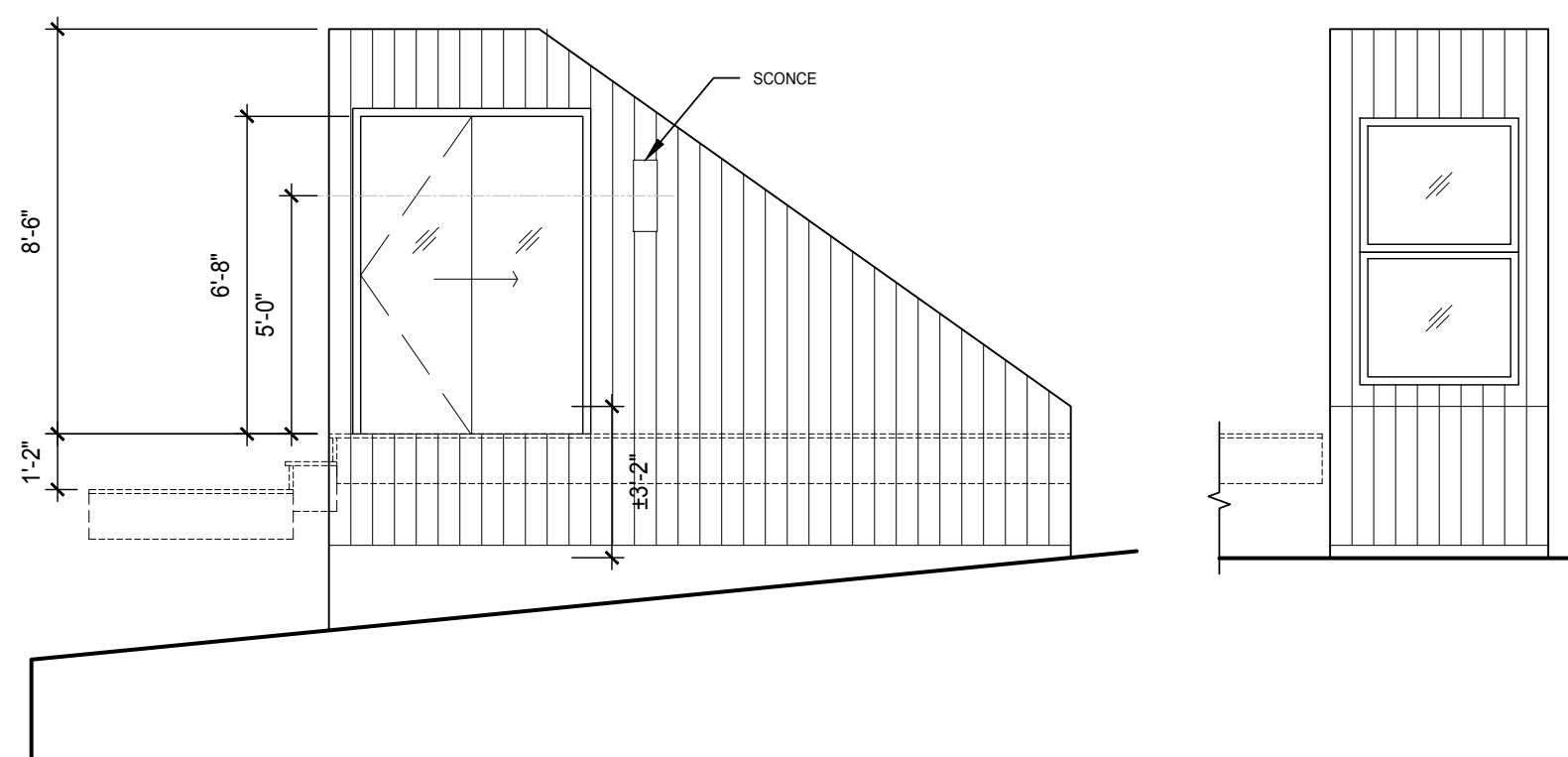


**5 GREEN ROOF ASSEMBLY**  
3" = 1'-0"



**4 ELEVATION**  
1/4" = 1'-0"

**3 ELEVATION**  
1/4" = 1'-0"



**2 ELEVATION**  
1/4" = 1'-0"

**1 ELEVATION**  
1/4" = 1'-0"

EOR: JAMES GEORGE KONNICK PE  
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No. 2018-001	Date: 09/17/2018
-------------------------	---------------------

Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**ELEVATIONS AND DETAILS**

Drawing No.:  
**A201.00**

Sheets in Contract Set: 09 of 17	Sheets in DOB Set: 09 of 17
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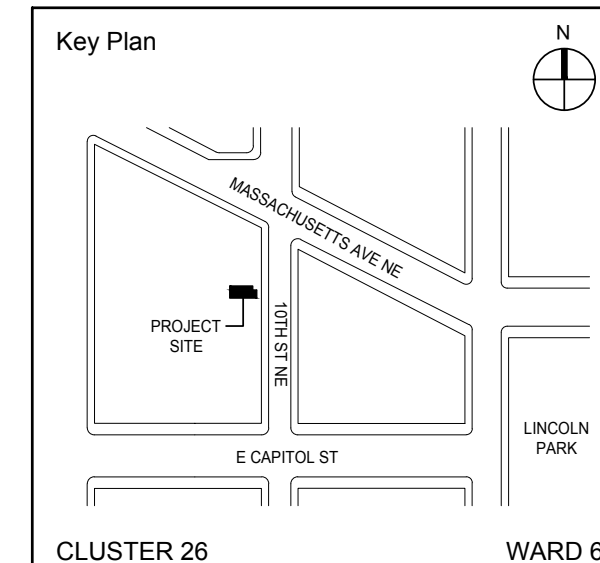




**NOTE:** Drawing may be printed at reduced scale

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#	DATE	REV
No.	Date	Revision



CLUSTER 26 WARD 6

EOR: JAMES GEORGE KONNICK PE  
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No. 2018-001	Date: 09/17/2018
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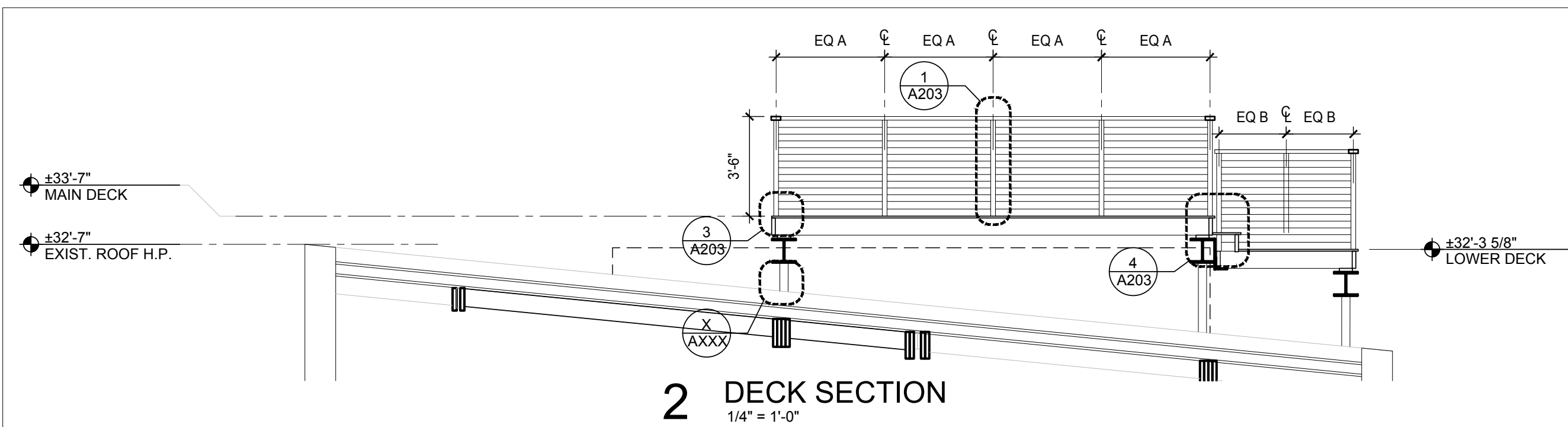
Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

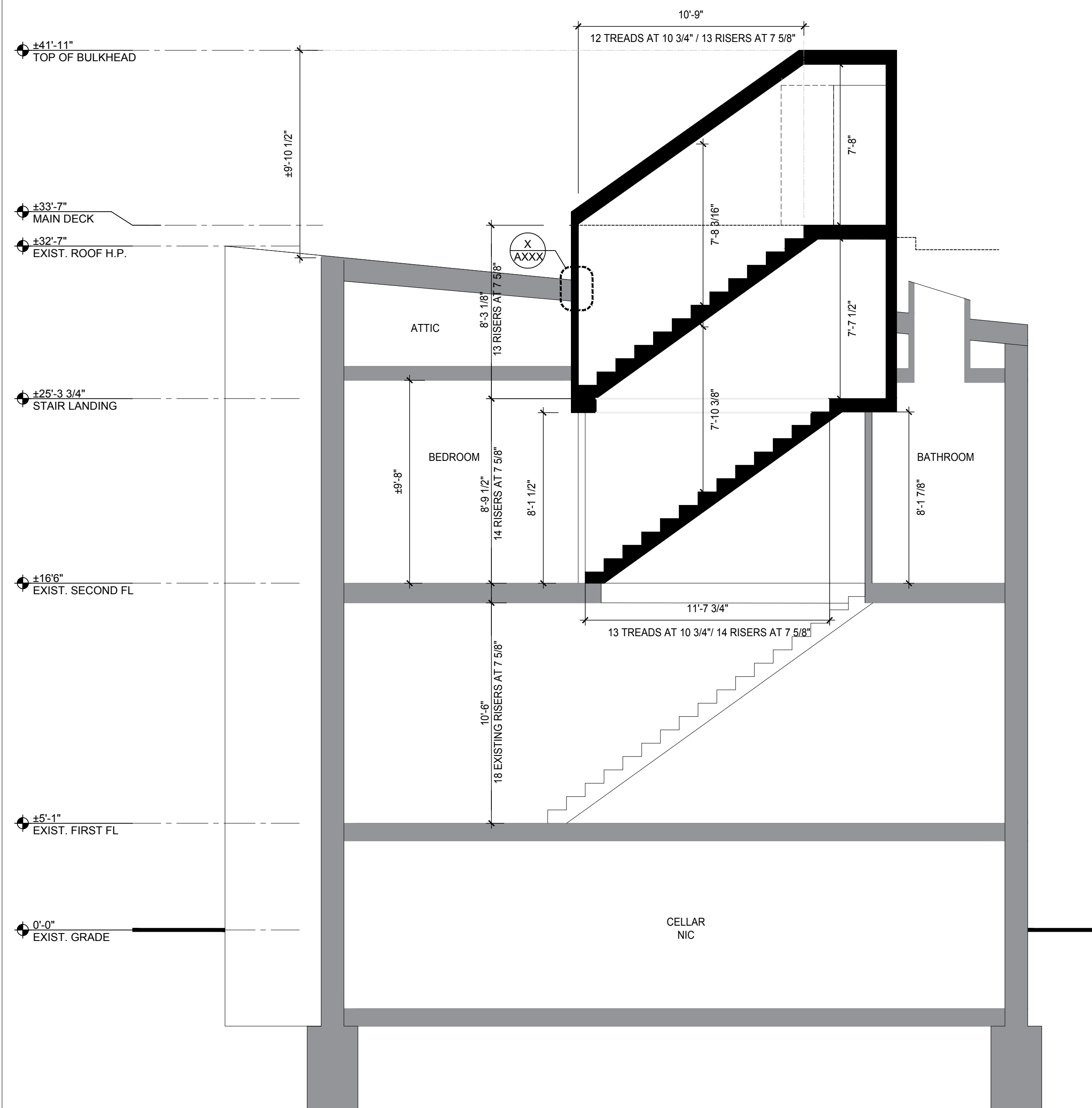
Drawing Title:  
**SECTIONS**

Drawing No.:  
**A202.00**

Sheets in Contract Set: 10 of 17	Sheets in DOB Set: 10 of 17
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**2 DECK SECTION**  
1/4" = 1'-0"



**1 STAIR SECTION**  
1/4" = 1'-0"

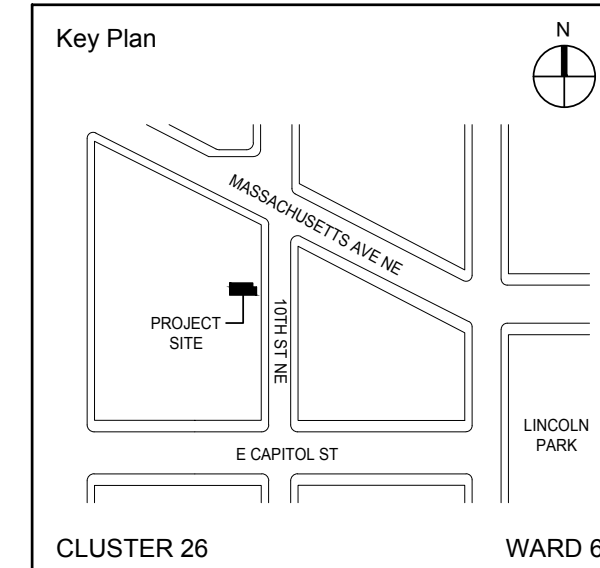




**NOTE:** Drawing may be printed at reduced scale

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#	DATE	REV
No.	Date	Revision



EOR: JAMES GEORGE KONNICK PE  
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No. <b>2018-001</b>	Date: <b>09/17/2018</b>
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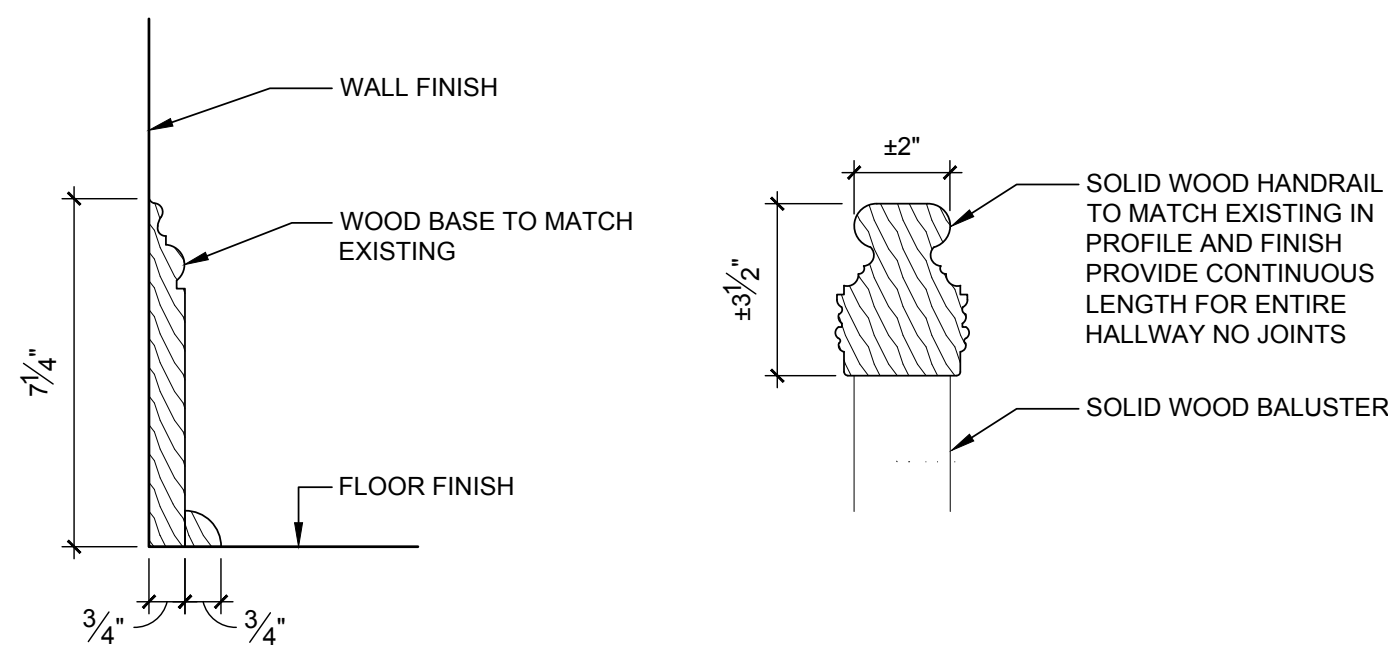
Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**DETAILS**

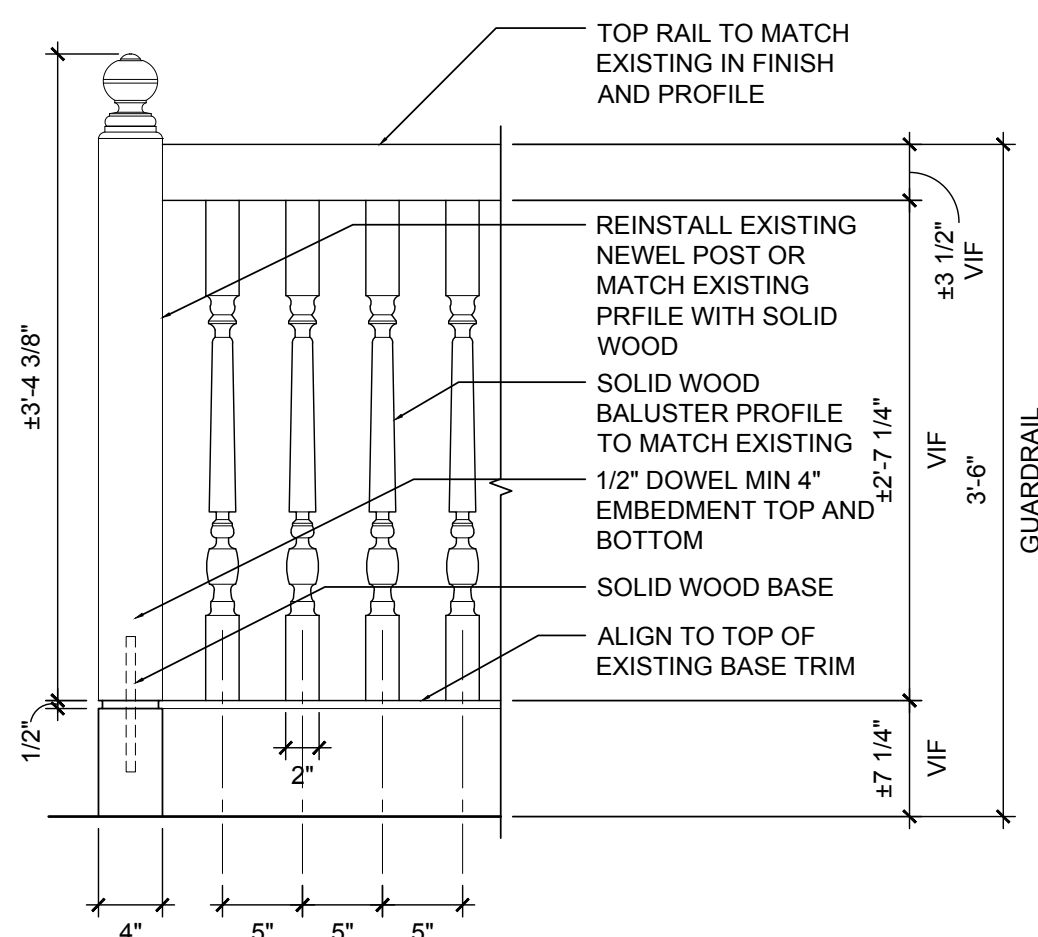
Drawing No.:  
**A203.00**

Sheets in Contract Set: 11 of 17	Sheets in DOB Set: 11 of 17
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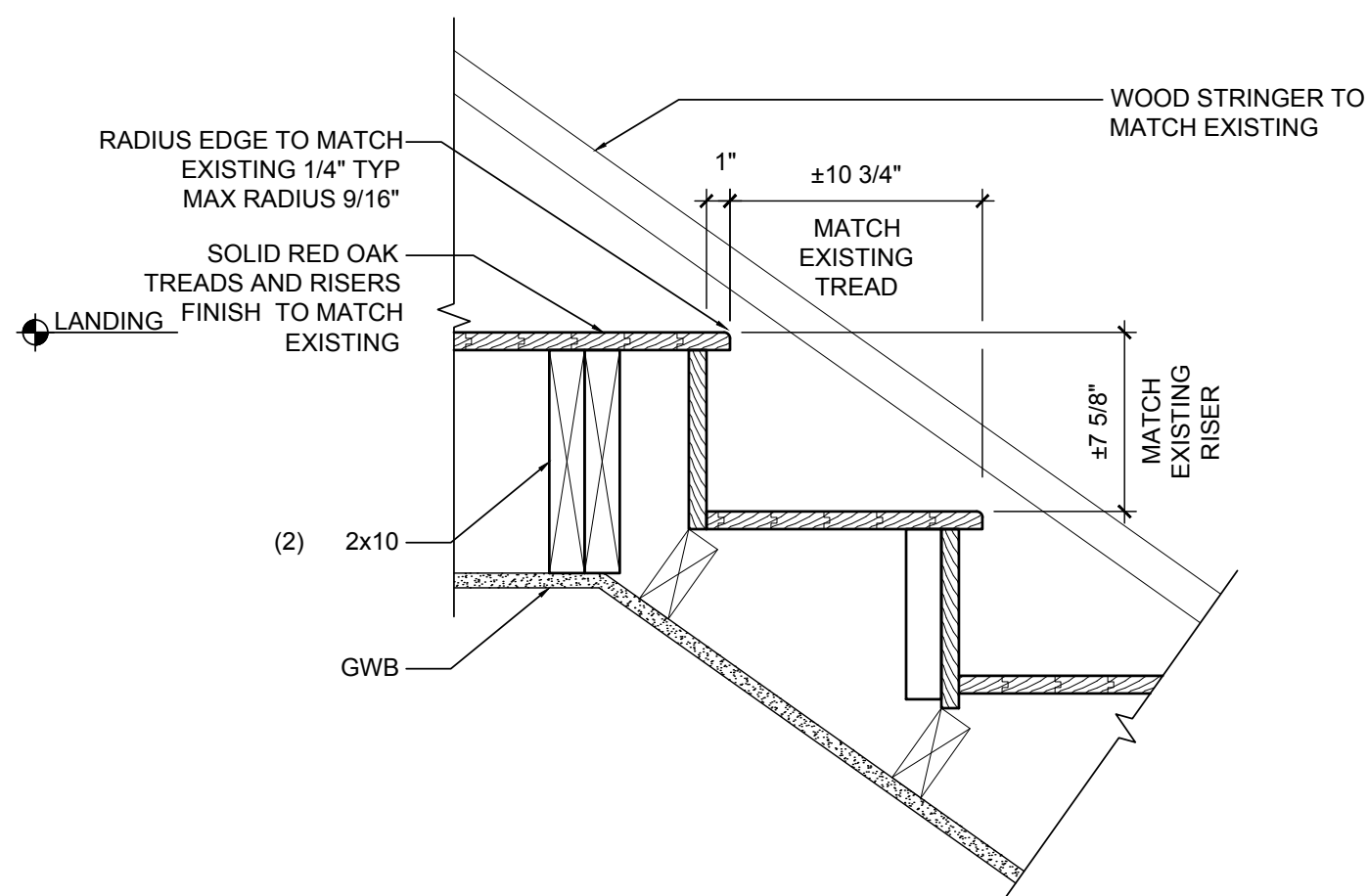


**7 HANDRAIL DETAIL**  
1" = 1'-0"

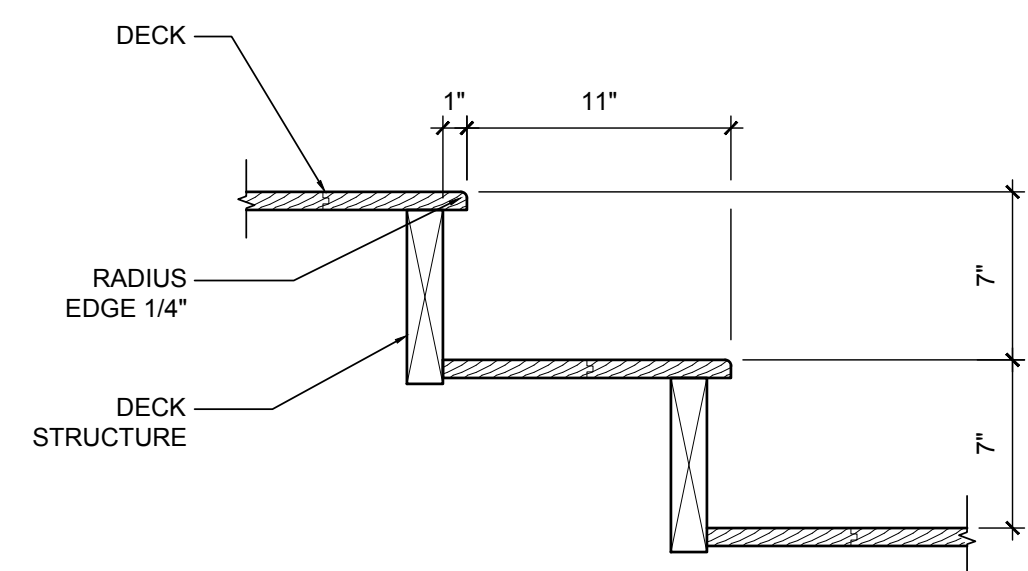
**8 BASE TRIM DETAIL**  
1" = 1'-0"



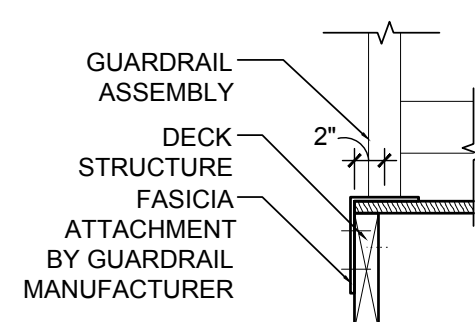
**6 INTERIOR GUARDRAIL**  
1" = 1'-0"



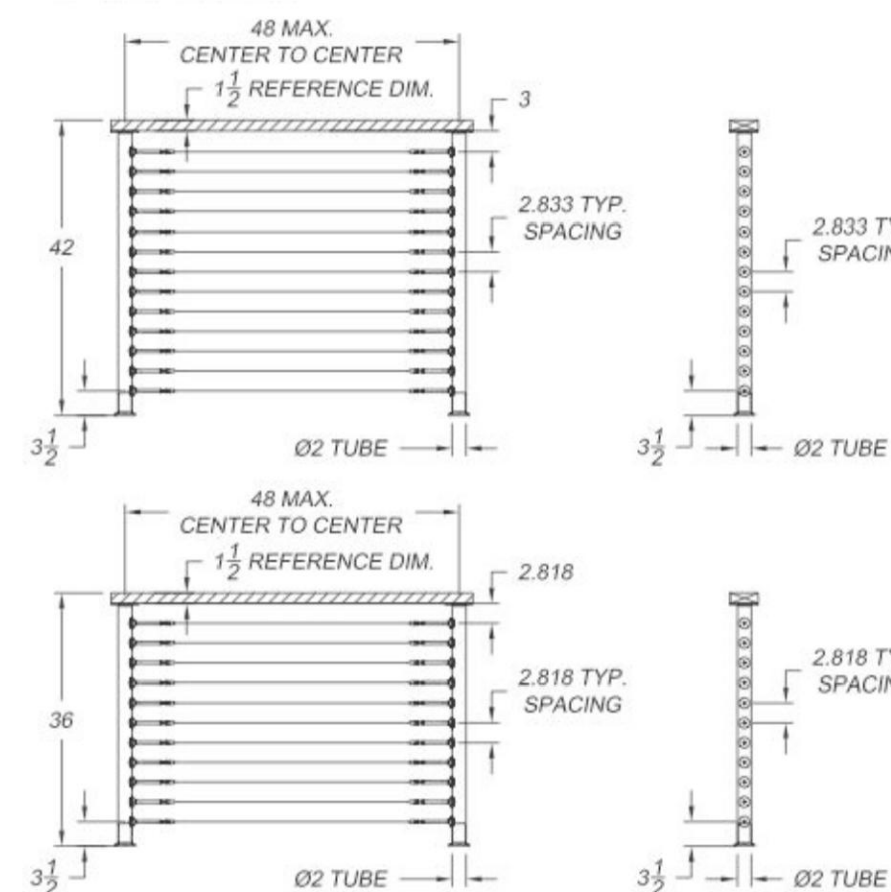
**5 INTERIOR STAIR DETAIL**  
1" = 1'-0"



**4 DECK STAIR DETAIL**  
1" = 1'-0"

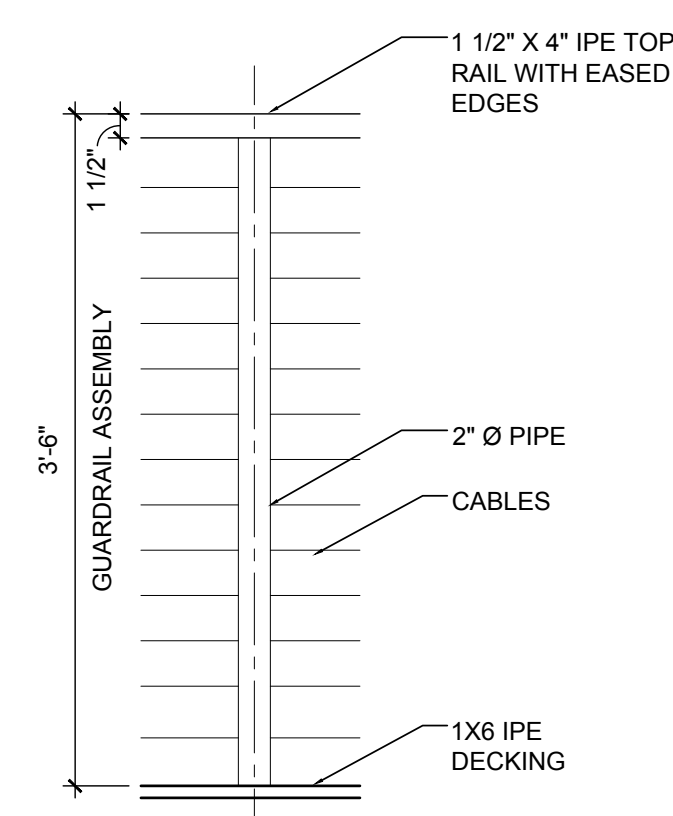


**3 POST ATTACHMENT DETAIL**  
1" = 1'-0"



**2 GUARDRAIL DETAIL**  
NTS

**Specifications:**  
Recommended span: 48" max. between posts.  
Cables may pass through posts on longer spans.  
Top Rail: Minimum of 2" x 4" Hardwood. Customer supplied.  
Infill: RailEasy™ Tensioners with 1x19 316 grade stainless steel cable.  
Posts: 2" diameter 16 gauge 316 grade stainless steel tubing.  
Customer supplied top rail is secured to posts using 316 grade cast stainless steel fittings & stainless steel fasteners. Tensioners are riveted to posts.



**1 GUARDRAIL DETAIL**  
1" = 1'-0"



## STRUCTURAL NOTES

- PREPARE MASONRY TO RECEIVE ADDITIONAL STRUCTURE BY REMOVING A PORTION OF THE WALL AND INFILLING THE OPENING AFTER STRUCTURE INSTALLATION. SALVAGE BRICKS FOR REUSE. ENSURE THAT ALL STRUCTURE HAS A MINIMUM 8" BEARING ON EACH SIDE.
- ENSURE LEVEL AND PLUMB INSTALLATION OF STRUCTURE USING A BED OF GROUT.
- DRAWINGS ARE BASED ON ARCHITECTURAL OBSERVATION OF EXISTING CONDITIONS. CONTRACTOR TO TAKE FIELD MEASUREMENTS AND VERIFY DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
- STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE REST OF THE CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION METHODS USED WILL NOT CAUSE DAMAGE TO ADJACENT BUILDINGS, UTILITIES, OR OTHER PROPERTY.
- THE GENERAL CONTRACTOR SHALL OBTAIN COPIES OF THE LATEST CONTRACT DOCUMENTS, INCLUDING ALL ADDENDA, AND PROVIDE THE RELEVANT PORTIONS TO ALL SUB-CONTRACTORS AND SUPPLIERS PRIOR TO OF SUBMITTAL OF SHOP DRAWINGS AND FABRICATION AND ERECTION
- THE CONTRACTOR SHALL COMPARE AND COORDINATE THE DRAWINGS OF ALL DISCIPLINES AND REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS TO THE ARCHITECT AND ENGINEER.
- TYPICAL DETAILS APPLY TO ALL SAME OR SIMILAR SITUATIONS EVEN WHEN NOT KEYED AT EACH LOCATION.
- THE CONTRACTOR SHALL REVIEW AND DETERMINE THAT DIMENSIONS ARE COORDINATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO FABRICATION AND START OF CONSTRUCTION.
- NO STRUCTURAL MEMBER SHALL BE CUT OR OTHERWISE REDUCED IN STRENGTH UNLESS APPROVED BY THE EOR.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND COORDINATING DIMENSIONS, ELEVATIONS, AND THE WORK OF ALL TRADES.
- THE CONTRACTOR SHALL SHORE AND PROTECT EXISTING CONSTRUCTION UNTIL NEW PERMANENT WORK IS IN PLACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES AND ORDINANCES.
- WHERE CONFLICTS EXIST BETWEEN STRUCTURAL DOCUMENTS THE STRICTEST REQUIREMENTS, AS INDICATED BY THE STRUCTURAL ENGINEER SHALL GOVERN.
- THE CONTRACT DRAWINGS REPRESENT THE COMPLETED STRUCTURE AND ARE NOT INTENDED TO INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCES, AND FOR JOB SAFETY.
- THE AOR/EOR DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- PERIODIC SITE OBSERVATION VISITS MAY BE PROVIDED BY THE STRUCTURAL ENGINEER. THE SOLE PURPOSE OF THESE OBSERVATIONS IS TO REVIEW THE GENERAL CONFORMANCE OF THE CONSTRUCTION WITH THE STRUCTURAL CONTRACT DOCUMENTS. THESE LIMITED OBSERVATIONS SHOULD NOT BE CONSTRUED AS CONTINUOUS OR EXHAUSTIVE TO VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL WORK IN COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS.
- TEMPORARY BRACING OF STRUCTURAL STEEL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR. STRUCTURAL STABILITY SHALL BE MAINTAINED AT ALL TIMES DURING THE ERECTION PROCESS.
- CONTRACTOR MUST PROVIDE NOTIFICATION TO THE ERECTOR THAT THE SUPPORTING WALLS HAVE SUFFICIENT STRENGTH TO SUPPORT THE STEEL TO BE ERECTED BEFORE ERECTING STRUCTURAL STEEL.
- NO FIELD WELDING OF HOT DIPPED GALVANIZED MEMBERS IS ALLOWED.
- ALL EXTERIOR ELEMENTS AND THOSE ELEMENTS NOTED TO BE GALVANIZED SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123 AFTER SANDBLAST CLEANING PER SSPC-SP10. USE ASTM A325 BOLTS HOT DIPPED GALVANIZED WITH GALVANIZED HARDENED WASHERS AND GALVANIZED HEAVY HEX NUTS FOR BOLTING OF GALVANIZED ITEMS.

- MEMBERS NOTED AS "CONTINUOUS" SHALL BE FULLY WELDED AT ALL BUTT SPLICES OR CONNECTIONS SHALL BE DETAILED TO PROVIDE CONTINUITY.

## SPECIAL INSPECTIONS

STRUCTURAL STEEL

## DESIGN LOADS

### ROOF

DEAD LOAD - 20 PSF  
LIVE LOAD - 30 PSF (SNOW)

### GREEN ROOF

DEAD LOAD - 35 PSF  
LIVE LOAD - 30 PSF (SNOW)

### WIND LOAD

WIND SPEED 115 MPH, EXPOSURE B

## MATERIAL NOTES

### STRUCTURAL STEEL

ALL W BEAMS A992. ALL OTHER STEEL A36.

ALL STEEL EXPOSED TO THE ELEMENTS SHALL BE GALVANIZED. REFER TO ALTERNATES ON T001.

### LUMBER

ALL LUMBER EXCEPT STUDS SHALL BE YELLOW PINE NO. 1 PRESSURE TREATED  
ALL STUDS SHALL BE SPRUCE, PINE, OR FIR, SURFACE DRY, CONSTRUCTION GRADE

### BOLTS

ALL EXPANSION ANCHORS TO BE HILTI AND TO BE GALVANIZED STEEL OR STAINLESS STEEL FOR EXTERIOR APPLICATION.

MECHANICAL ANCHORS INTO MASONRY OR GROUT FILLED CELLS, USE THE FOLLOWING (UNO):

- HILTI KWIK BOLT 3 MASONRY ANCHORS (ICC-ES ESR1385)
- SIMPSON STRONG-TIE WEDGE-ALL ANCHOR(WA) (ICBO-ES ER-3631) (FL5415)

ADHESIVE ANCHORS INTO MASONRY OR GROUT FILLED CELLS, USE THE FOLLOWING (UNO):

- HILTI HIT HY-150 MAX ADHESIVE (ICC-ES ESR1967)
- SIMPSON STRONG-TIE SET EPOXY-TIE ADHESIVE (SET) (ICC-ES ESR1772)(FL5550)

### GROUT

NON-SHRINK, NON-METALLIC GROUT WITH A 28 DAY STRENGTH OF 5000 PSI SHALL BE USED UNDER BASE PLATES AND SHALL CONFORM TO CORPS OF ENGINEERS CRD-C621, FACTORY PREMIX GROUT. SEE SPECIFICATIONS FOR TESTING REQUIREMENTS.

### EXISTING CONDITIONS:

THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS DEPICTED ON THESE DRAWINGS AND NOTIFY ENGINEER AND ARCHITECT IF DIFFERENT.

WHERE EMBEDDING STRUCTURE INTO EXISTING MASONRY, CONTRACTOR SHALL VISUALLY INSPECT MASONRY AND ADVISE AOR/EOR IF THE MASONRY APPEARS NOT TO BE STRUCTURALLY SOUND IN ANY WAY. CONDITIONS SUCH AS WATER INFILTRATION, MOLD, LOOSE MORTAR, CRACKING OR CRUMBLING BRICKS, CRACKING OR DELAMINATED JOINTS AND HEAVY WEATHERING ARE TO BE REPORTED TO AOR/EOR FOR REPAIR PRIOR TO ANCHORING STRUCTURE. MASONRY REPAIRS REQUIRED FOR PROPER STRUCTURAL ANCHORING ARE INCLUDED IN THE SCOPE OF WORK.

*Archifina*

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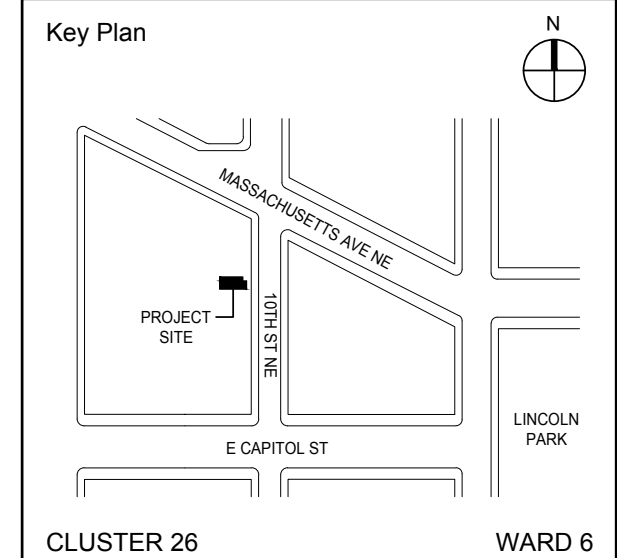


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**NOTE: Drawing may be printed at reduced scale**

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#	DATE	REV
No.	Date	Revision



EOR: JAMES GEORGE KONNICK PE

AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No.	Date:
2018-001	09/17/2018

Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**STRUCTURAL NOTES LOADS AND SPECIAL INSPECTIONS**

Drawing No.:  
**S001.00**

Sheets in Contract Set:	Sheets in DOB Set:
13 of 17	13 of 17

*Archifina*

ARCHITECTURE FOREVER

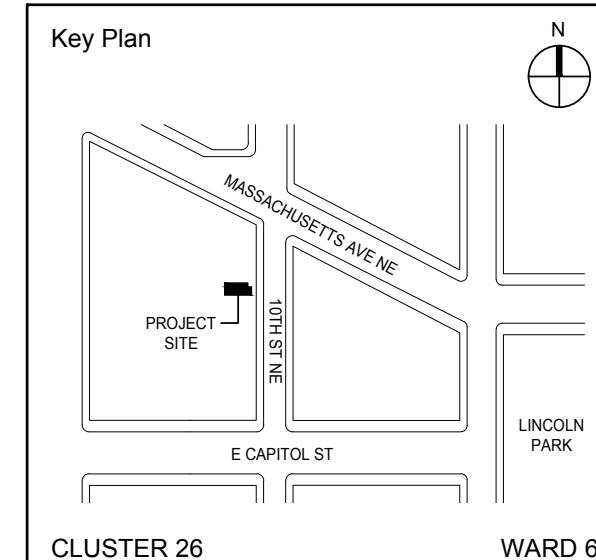


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EOR: JAMES GEORGE KONNICK PE  
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No. <b>2018-001</b>	Date: <b>09/17/2018</b>
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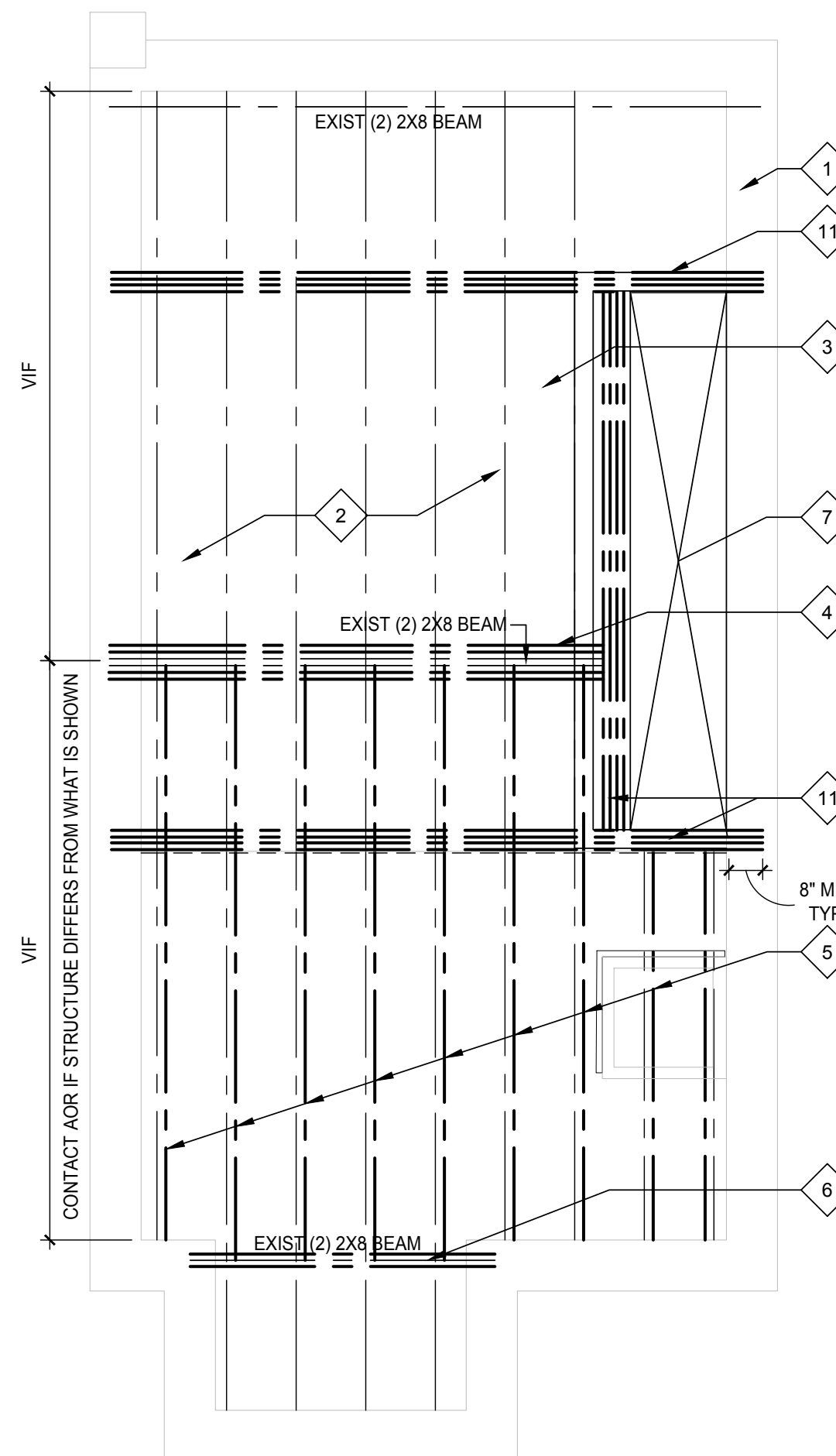
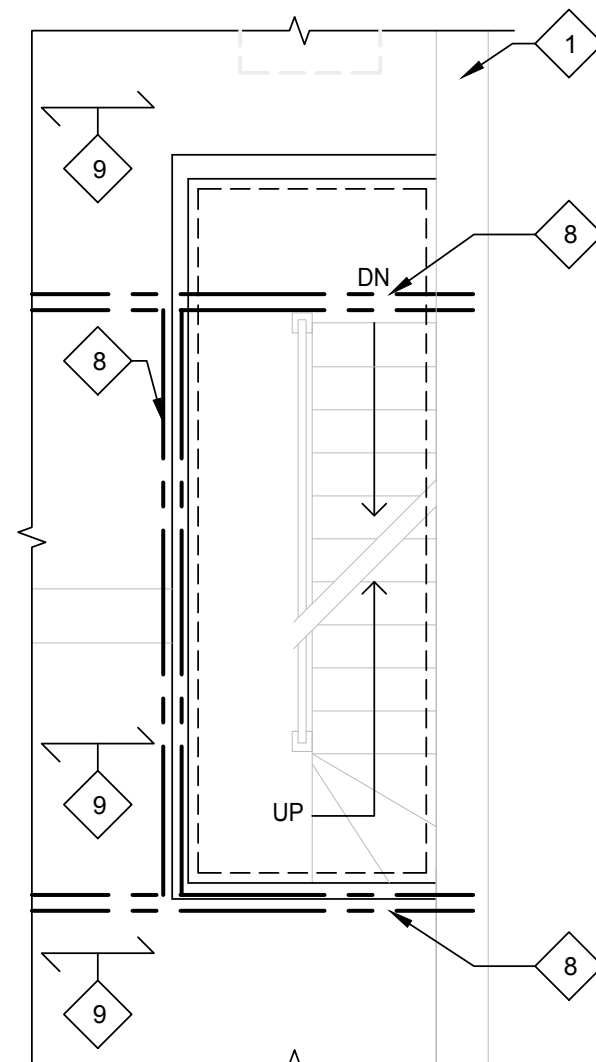
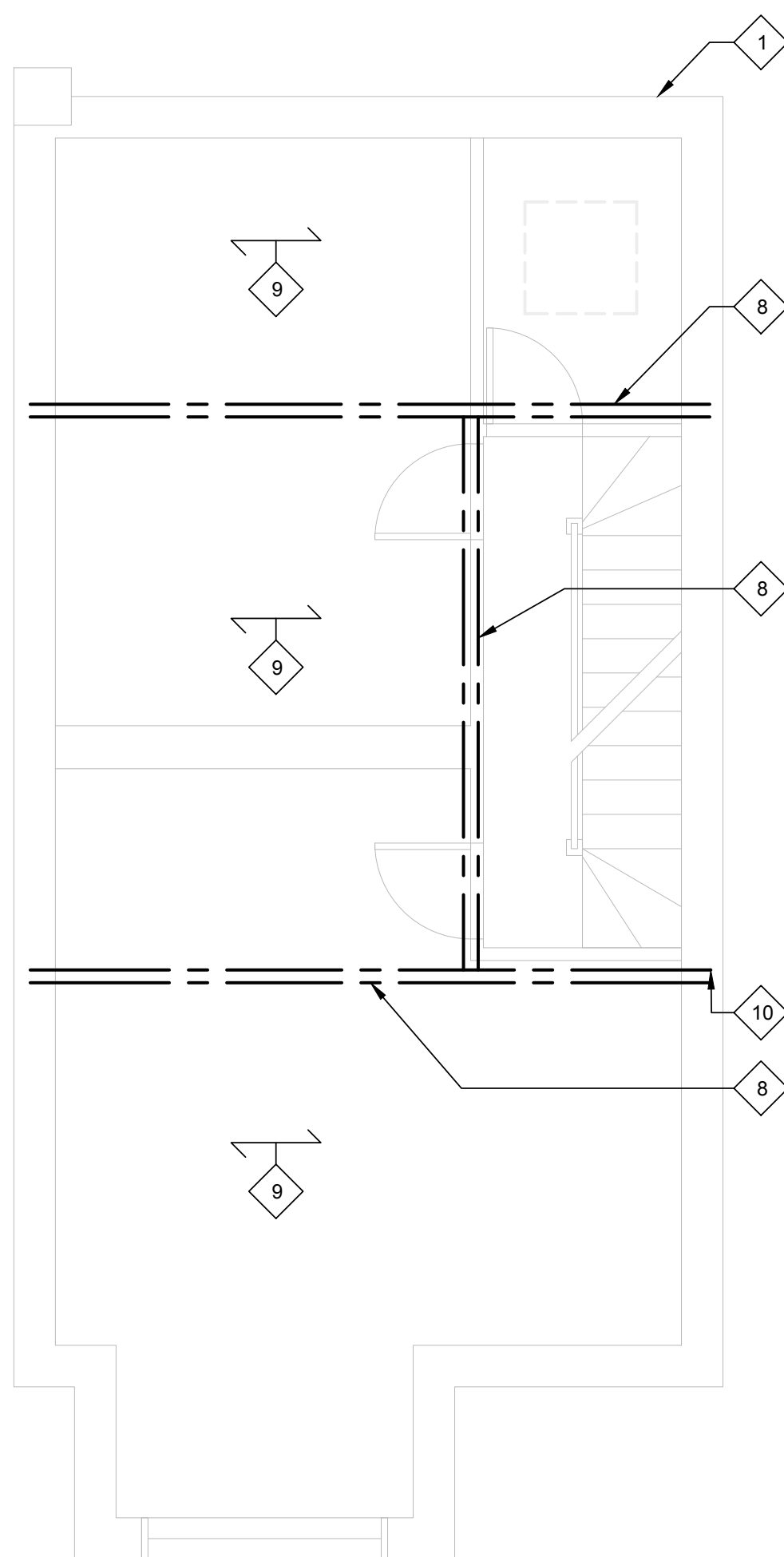
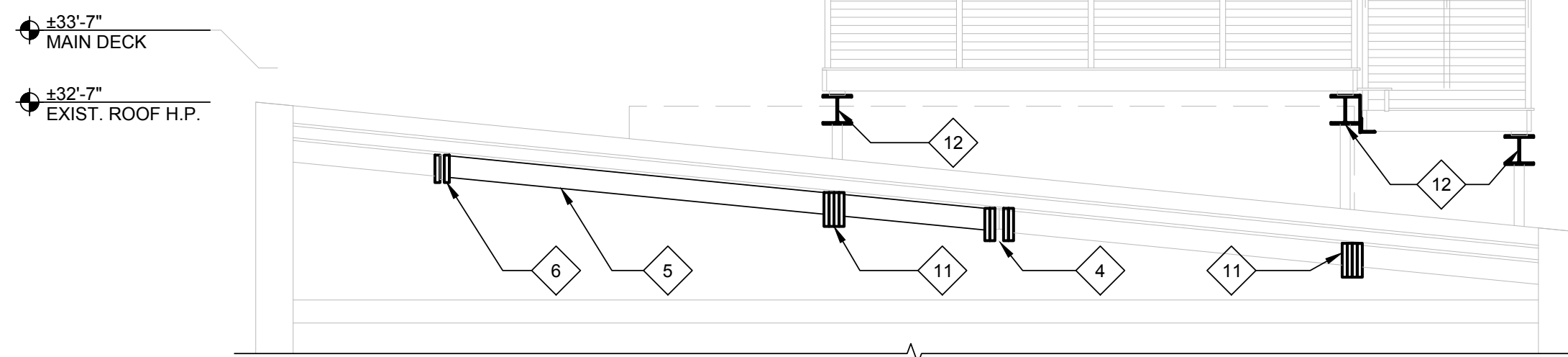
Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**SECOND FL, STAIR LANDING & ROOF FRAMING PLANS**

Drawing No.:  
**S101.00**

Sheets in Contract Set: 15 of 17	Sheets in DOB Set: 15 of 17
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**KEY NOTES**

- 1 PERIMETER MASONRY BEARING WALLS
- 2 EXISTING 2X8 CLG JOISTS
- 3 EXISTING INSULATION BETWEEN JOISTS TO REMAIN
- 4 ADD (4) 1 3/4" X 11 7/8" LVL'S TO EXIST (2) 2X8 BEAM
- 5 ADD 2X8 TO EACH EXISTING 2X8 JOIST AT 16" OC
- 6 ADD (2) 1 3/4" X 9 1/2" LVL'S TO EXIST (2) 2X8 BEAM
- 7 STAIR OPENING
- 8 (2) 1 3/4" X 11 1/4" LVL EXTEND 18" TO BEARING WALL
- 9 EXISTING JOISTS 2X12 AT 16" OC FIELD VERIFY
- 10 POCKET NEW LVL BEAM INTO EXISTING WALL
- 11 (4) 1 3/4" X 11 7/8" LVL'S
- 12 W10X22 (BEAM TYP OF 3)

**3** SECOND FLOOR FRAMING PLAN  
1/4" = 1'-0"

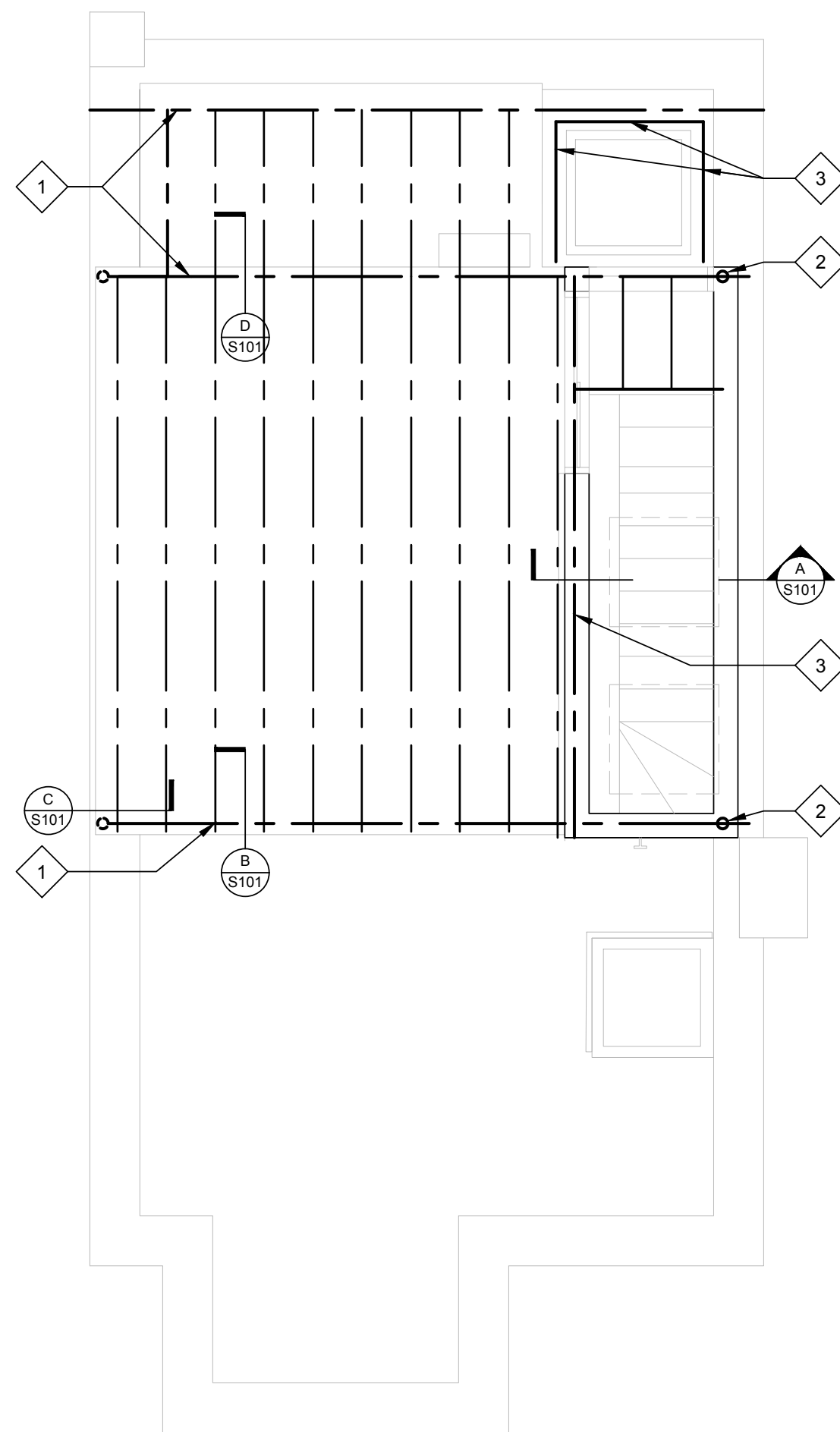
**2** STAIR LANDING FRAMING PLAN  
1/4" = 1'-0"

**1** ROOF FRAMING PLAN  
1/4" = 1'-0"

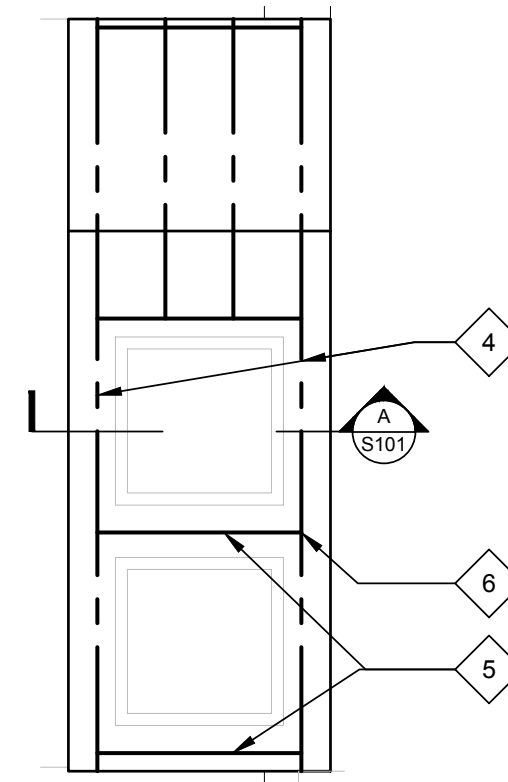


## STRUCTURAL NOTES

1. PREPARE MASONRY TO RECEIVE ADDITIONAL STRUCTURE BY REMOVING A PORTION OF THE WALL AND INFILLING THE OPENING AFTER STRUCTURE INSTALLATION. SALVAGE BRICKS FOR REUSE. ENSURE THAT ALL STRUCTURE HAS A MINIMUM 8" BEARING ON EACH SIDE.
2. ENSURE LEVEL AND PLUMB INSTALLATION OF STRUCTURE USING A BED OF GROUT.
3. DRAWINGS ARE BASED ON ARCHITECTURAL OBSERVATION OF EXISTING CONDITIONS. CONTRACTOR TO TAKE FIELD MEASUREMENTS AND VERIFY DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.



**2** ROOF DECK PLAN  
1/4" = 1'-0"



**1** UPPER ROOF PLAN  
1/4" = 1'-0"

## KEY NOTES

- 1 W10X22 (BEAM TYP OF 3)
- 2 PIPE 3 STANDARD SCHEDULE 40 PIPE (3 1/2" OD) TYP OF 6
- 3 (2) 2X12
- 4 2X8 @ 16 OC RAFTERS
- 5 (2) 2X8 BEAM
- 6 3 STUDS TYP EACH END OF BEAM

*Archifina*

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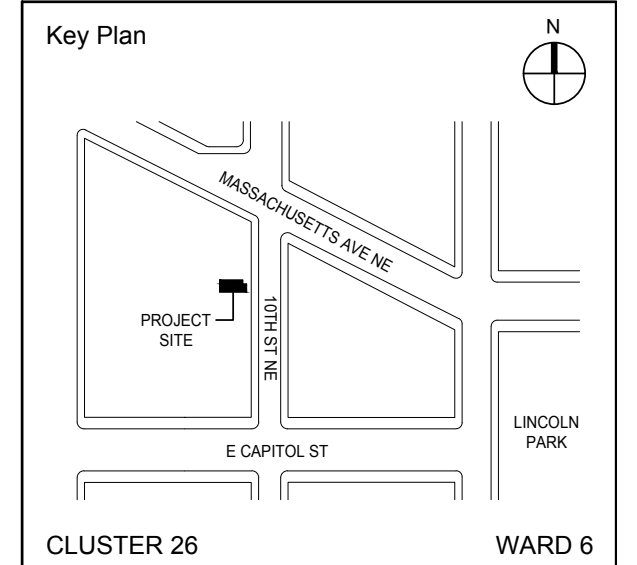


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**NOTE:** Drawing may be printed at reduced scale

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#	DATE	REV
No.	Date	Revision



EOR: JAMES GEORGE KONNICK PE  
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No.	Date:
2018-001	09/17/2018

Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**ROOF DECK & ROOF FRAMING PLANS**

Drawing No.:  
**S102.00**

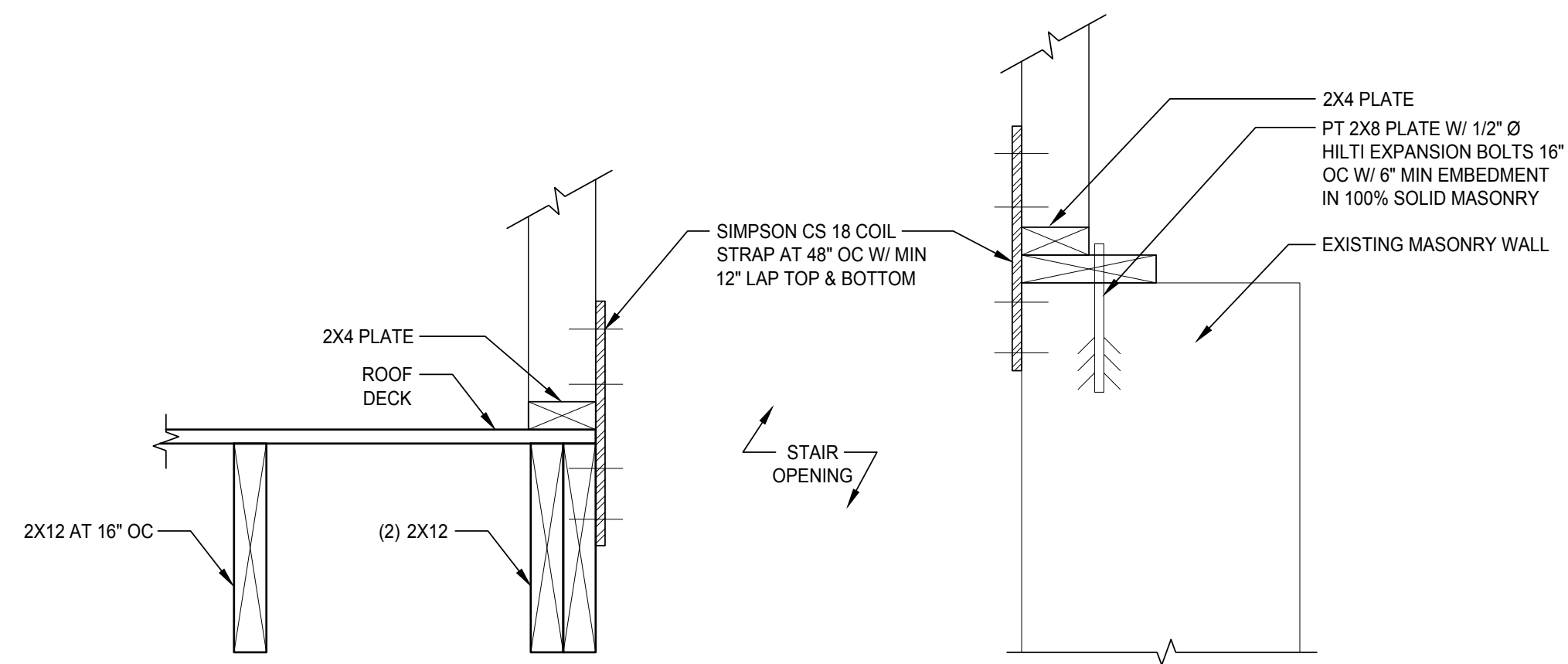
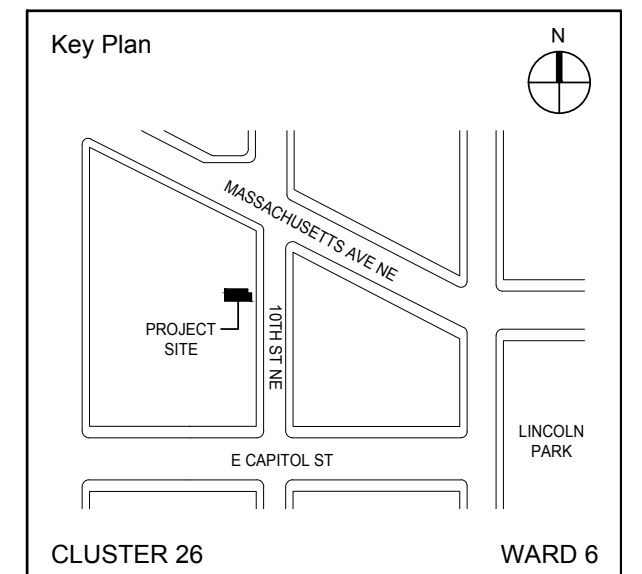
Sheets in Contract Set:	Sheets in DOB Set:
16 of 17	16 of 17



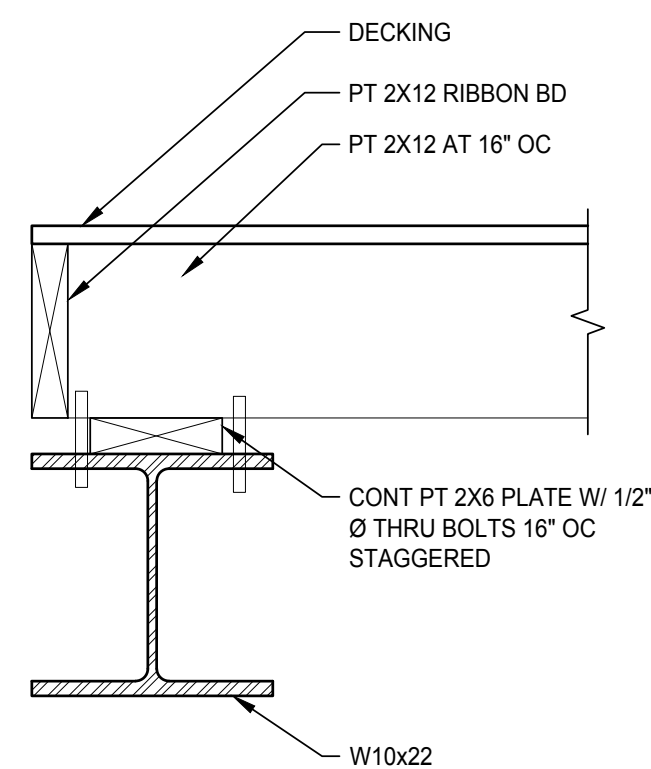
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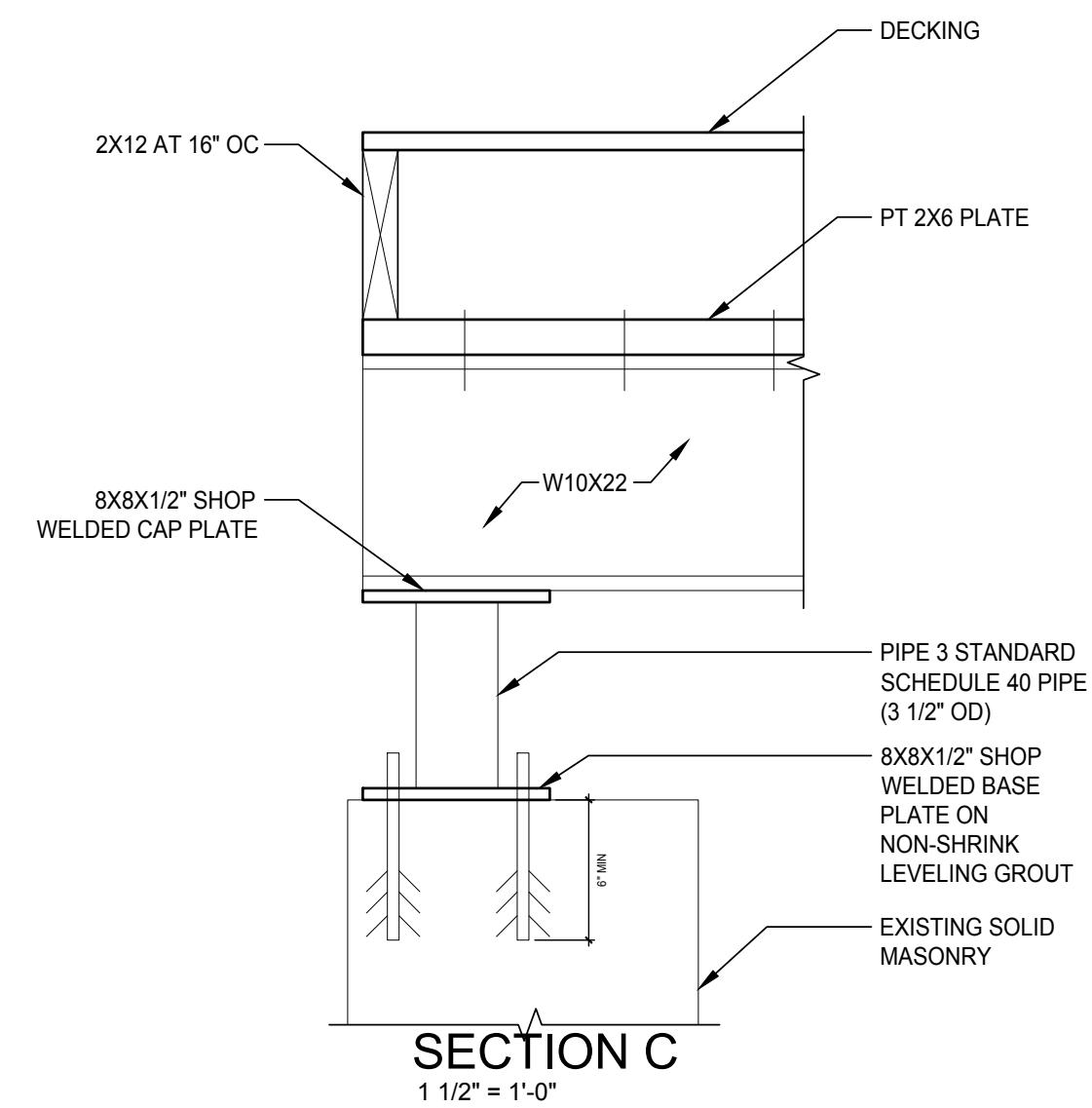
#	DATE	REV
No.	Date	Revision



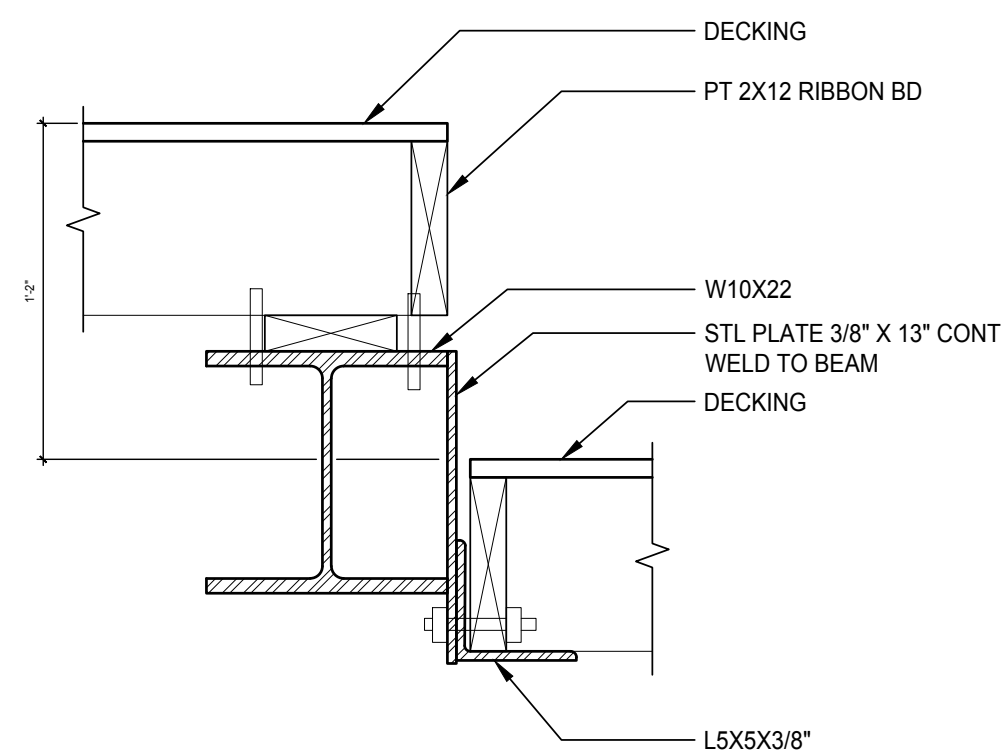
**SECTION A**  
1 1/2" = 1'-0"



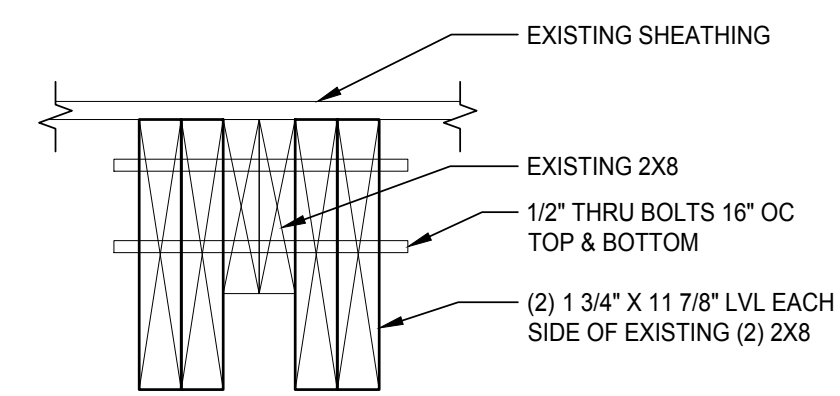
**SECTION B**  
1 1/2" = 1'-0"



**SECTION C**  
1 1/2" = 1'-0"



**SECTION D**  
1 1/2" = 1'-0"



**SECTION E**  
1 1/2" = 1'-0"

EOR: JAMES GEORGE KONNICK PE  
AOR: CLAIR M. WHOLEAN AIA LEED AP BD+C

Project No. 2018-001	Date: 09/17/2018
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Project:  
**ROOF REPLACEMENT WITH GREEN ROOF**

Address:  
16 10TH ST NE  
WASHINGTON DC 20002

Drawing Title:  
**STRUCTURAL DETAILS**

Drawing No.:  
**S103.00**

Sheets in Contract Set: 17 of 17	Sheets in DOB Set: 17 of 17
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